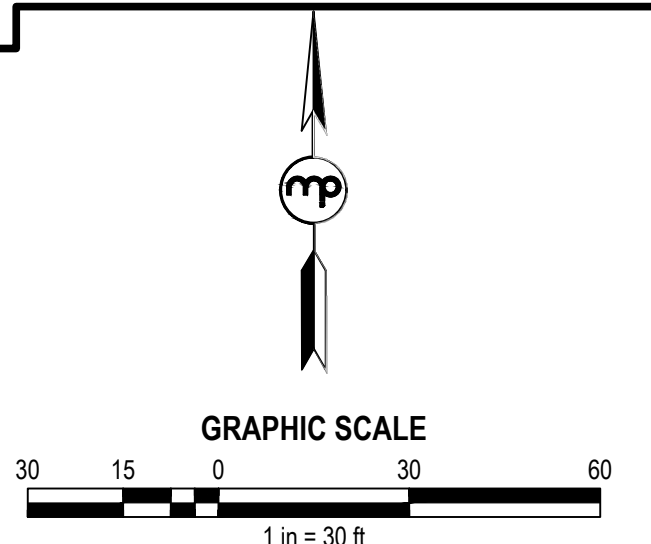
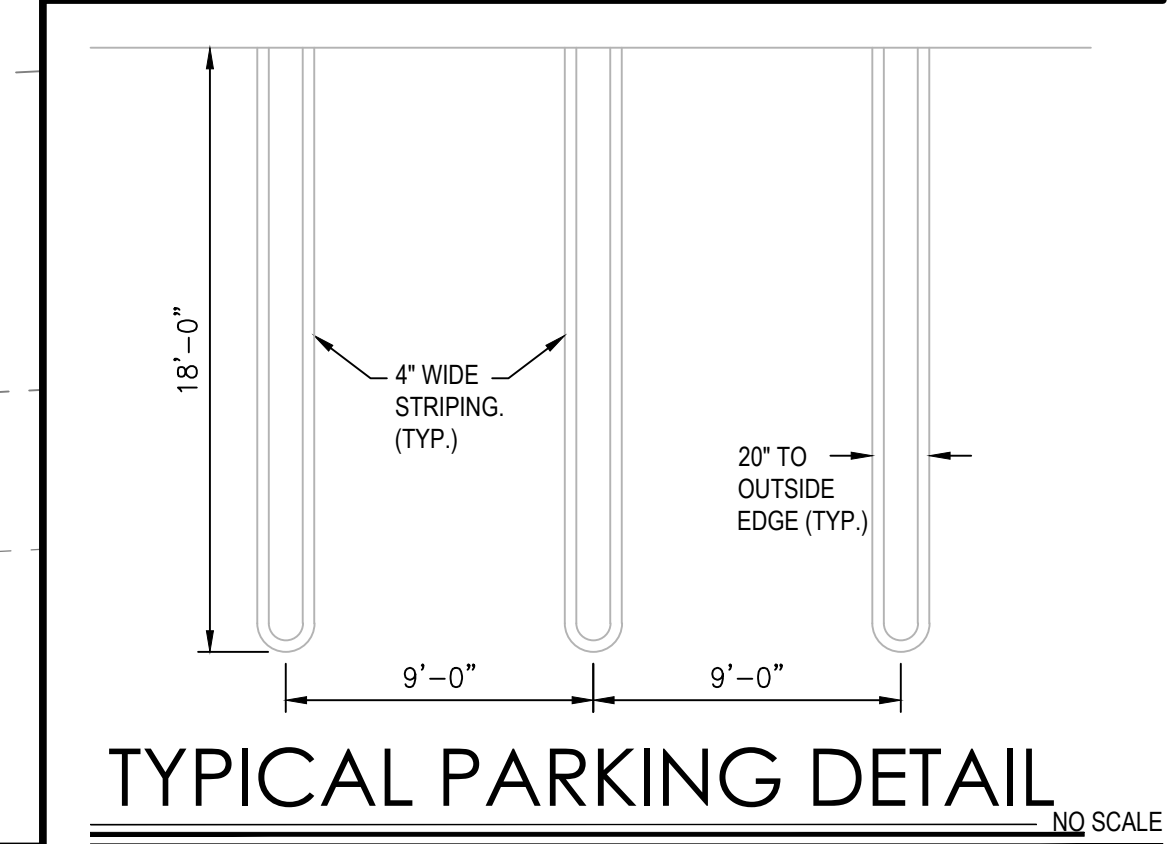
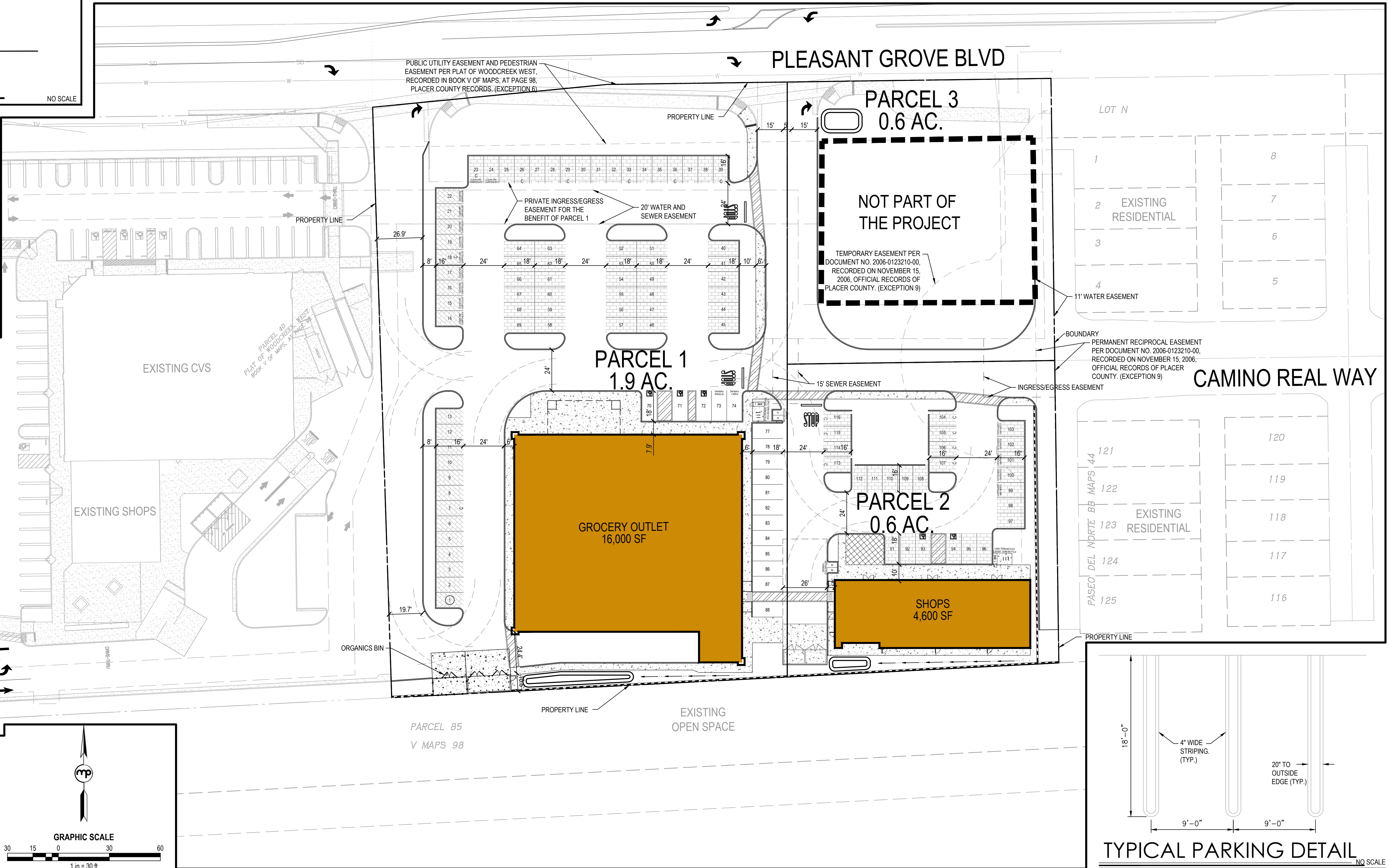
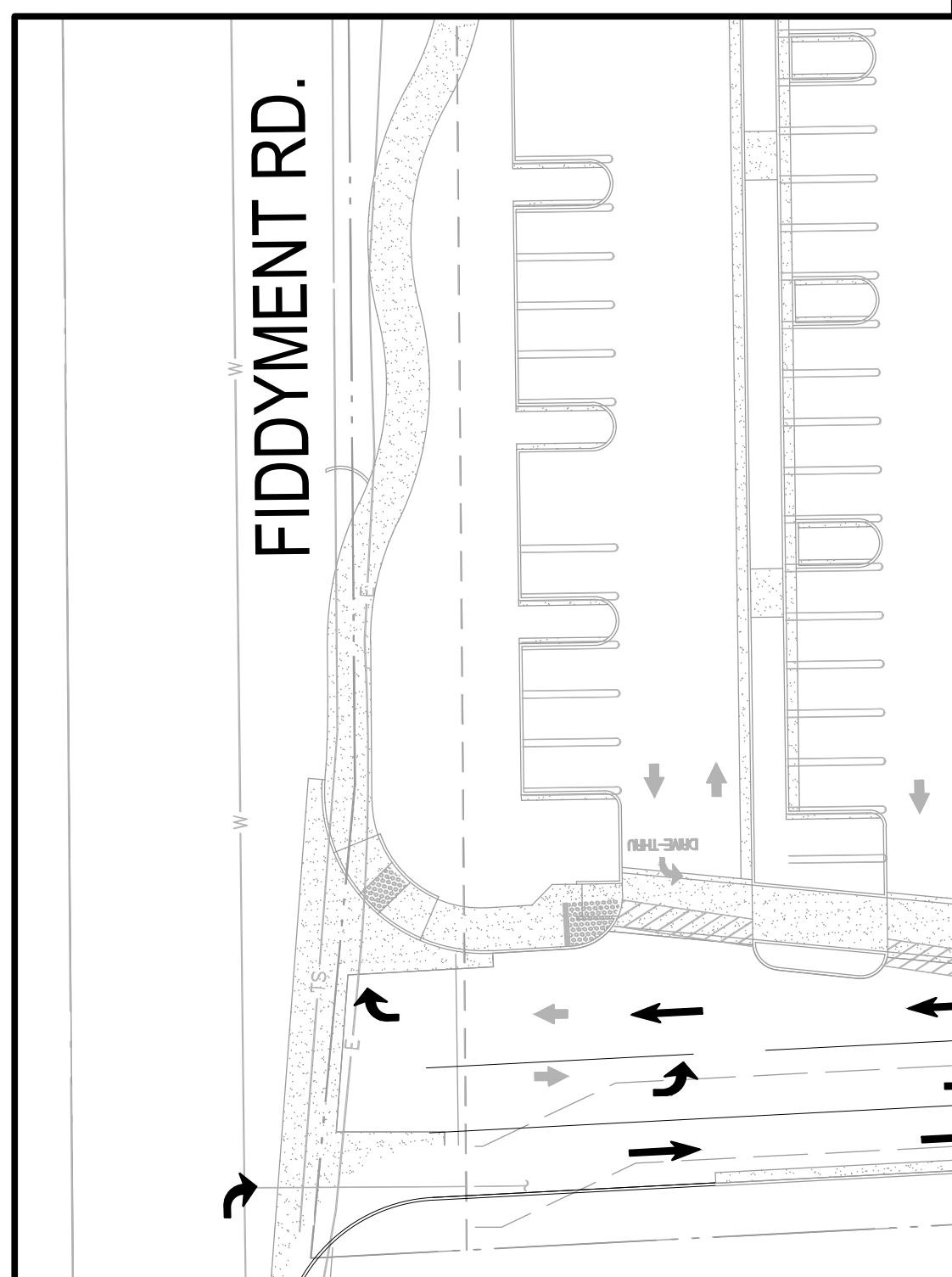


PARCEL	SQUARE FEET	CODE	REQUIRED	PROVIDED	EV	ACCESSIBLE	BIKE (SHORT TERM)	BIKE (LONG TERM)
1 - GROCERY OUTLET	16,000	1/300 SF	54	88	11 REQ. 11 PROV.	3 REQ. 3 PROV.	3 REQ. 3 PROV.	TBD PER EMPLOYEES
2 - SHOPS	4,600	1/200 SF	23	28	5 REQ. 5 PROV.	2 REQ. 2 PROV.	3 REQ. 3 PROV.	TBD PER EMPLOYEES
TOTAL			77	116	12 REQ. 12 PROV.	5 REQ. 5 PROV.	9 REQ. 9 PROV.	TBD PER EMPLOYEES

PARKING REQUIREMENT



TYPICAL LIGHT DETAIL



Dwg. X:\2020\20-011-00 (GROCERY OUTLET)\DWG\PLANNING\20011-SP01.DWG | Saved: 02/23/20 10:22am | RCHENG

NO.	DESCRIPTION	APPD. ENGR.	DATE	APPD. E.U.	DATE

SCALE:	BENCH MARK
HORIZ. 1" = 30'	
VERT. 1" = N/A	

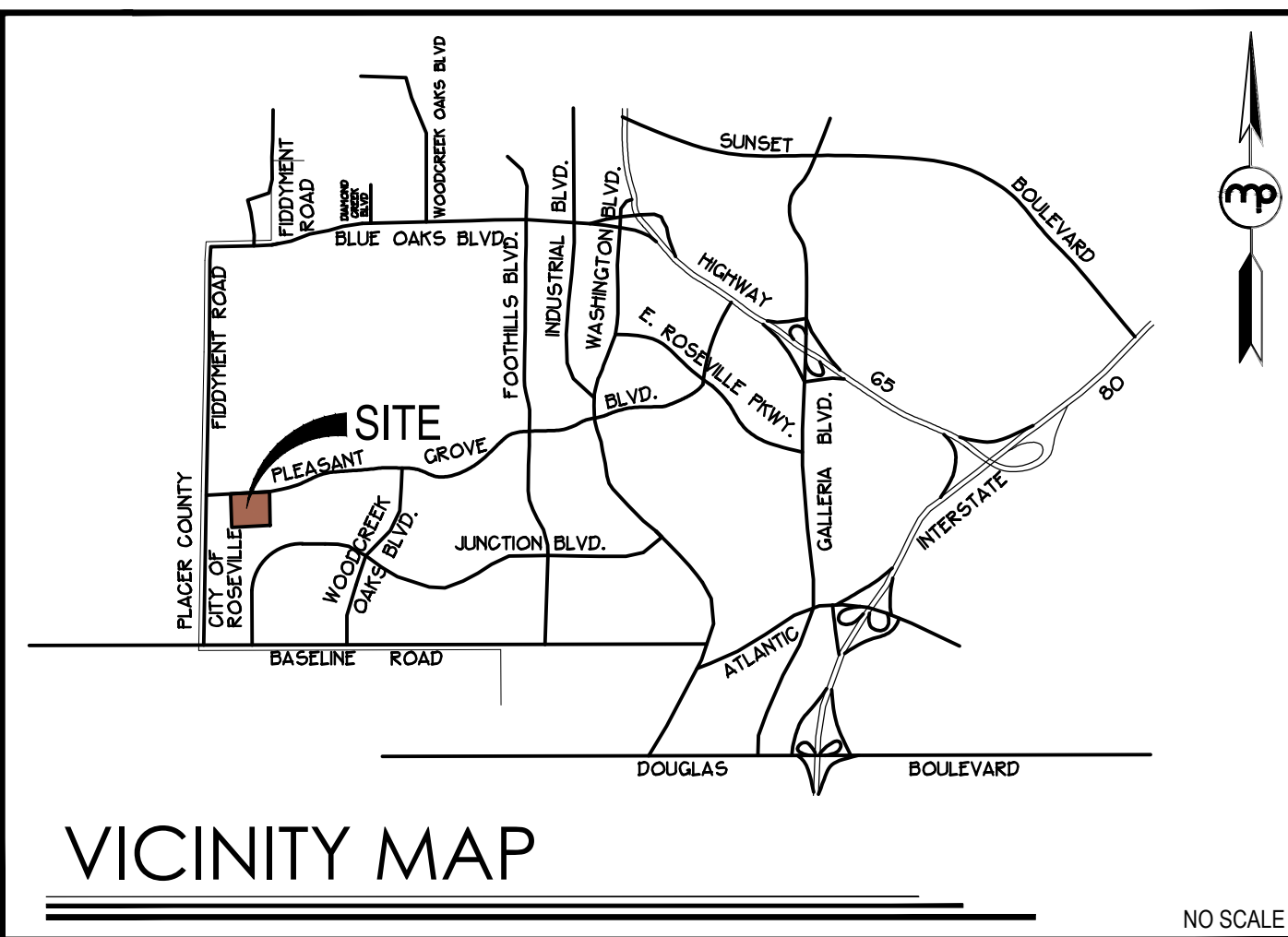
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DESIGNED	
DRAWN	
PROJ. ENGR.	

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 Folsom • Fresno
 600 Coolidge Drive, Suite #140
 Folsom, CA 95630
 phone: (916) 964-7421
 web: www.mpengr.com

PRELIMINARY PLAN FOR
GROCERY OUTLET
 1751 PLEASANT GROVE BOULEVARD
SITE PLAN
 ROSEVILLE, CALIFORNIA

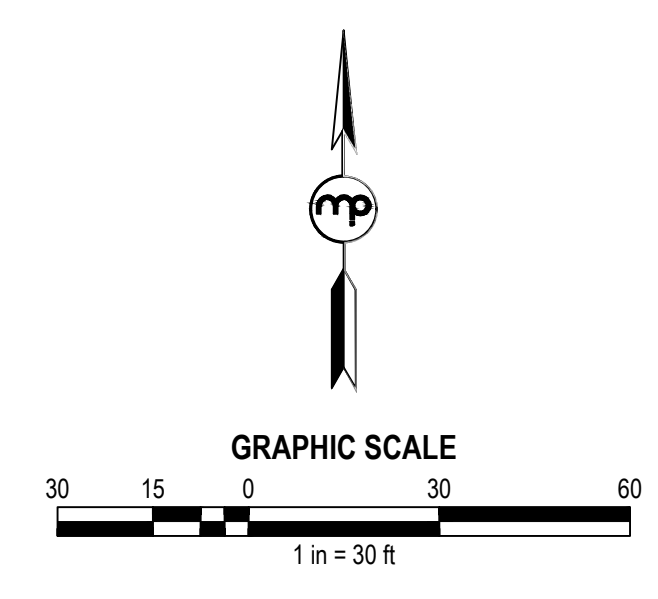
DATE	MARCH 23, 2023
SHEET	1
OF	3

EN CW## NOT FOR CONSTRUCTION GROCERY OUTLET



ABBREVIATIONS

PUE	PUBLIC UTILITY EASEMENT
PE	PEDESTRIAN EASEMENT
DE	DRAINAGE EASEMENT



- NOTES**
- THIS EXHIBIT IS FOR TENTATIVE MAP PURPOSES ONLY. ALL SITE CHARACTERISTICS ARE TO BE VERIFIED PRIOR TO FINAL MAP.
 - MINOR MODIFICATION MAY BE MADE TO LOT LINES AT FINAL MAP.
 - FOR PRELIMINARY PLANNING PURPOSES ONLY. BOUNDARY, TOPO, EASEMENTS AND SITE CONDITIONS TO BE VERIFIED PRIOR TO FINAL MAP AND ENGINEERING.
 - PURSUANT TO GOVERNMENT CODE SECTION 66456.1 THE SUBDIVIDER MAY FILE MULTIPLE FINAL MAPS BASED UPON THIS TENTATIVE MAP. THE FILING OF A FINAL MAP ON A PORTION OF THIS TENTATIVE MAP SHALL NOT INVALIDATE ANY PART OF THIS TENTATIVE MAP, INCLUDING THE AUTHORITY OF THE LOCAL AGENCY TO IMPOSE REASONABLE CONDITIONS RELATING TO THE FILING OF MULTIPLE FINAL MAPS.
 - ALL UTILITY SYSTEMS ILLUSTRATED ON THE TENTATIVE MAP ARE SUBJECT TO CHANGE AT THE TIME OF FINAL DESIGN.
 - GRADING SHOWN ON THIS TENTATIVE MAP ILLUSTRATES A GENERAL GRADING CONCEPT AND IS SUBJECT TO CHANGE AT THE TIME OF FINAL DESIGN.
 - PUBLIC UTILITY EASEMENTS OVER, ON, UNDER AND ACROSS THE LAND DESIGNATED ON THESE PLANS AS "P.U.E." FOR THE INSTALLATION AND MAINTENANCE OF ANY AND ALL UTILITY SERVICE FACILITIES INCLUDING BUT NOT LIMITED TO POLES, WIRES, AND CONDUITS FOR ELECTRICAL, TELEPHONE, TELEVISION, GAS, SANITARY, AND WATER SERVICES, AND ALL APPURTENANCES THERE TO TOGETHER WITH THE RIGHT TO CONSTRUCT, PLACE TRAFFIC CONTROL, AND TRIM AND REMOVE TREES AND VEGETATION.
 - DEVELOPMENT STANDARDS: AS SPECIFIED IN THE CITY OF ROSEVILLE ZONING ORDINANCE AND CITY OF ROSEVILLE COMMUNITY DESIGN GUIDELINES.
 - SITE LIGHTING SHOWN FOR REFERENCE ONLY. LIGHT LOCATIONS TO BE COORDINATED WITH THE PHOTOMETRIC PLAN PREPARED FOR THIS PROJECT.
 - EASEMENT FOR RECIPROCAL ACCESS, PARKING, DRAINAGE AND UTILITIES IS REQUIRED BETWEEN PARCELS 1, 2, AND 3.

OWNER / APPLICANT
 INTERCAL REAL ESTATE CORPORATION
 CONTACT: PAUL BOLLINGER
 540 FULTON AVENUE
 SACRAMENTO, CALIFORNIA 95825
 PHONE: (916) 486-4959
 EMAIL: PAUL@INTERCALRE.COM

ENGINEER / PLANNER
 MORTON PITALO, INC.
 600 COOLIDGE DRIVE, SUITE #140
 FOLSOM, CA 95630
 CONTACT: EDWIN YU
 PHONE: (916) 486-8787
 EMAIL: EYU@MPENGR.COM

UTILITY PROVIDERS

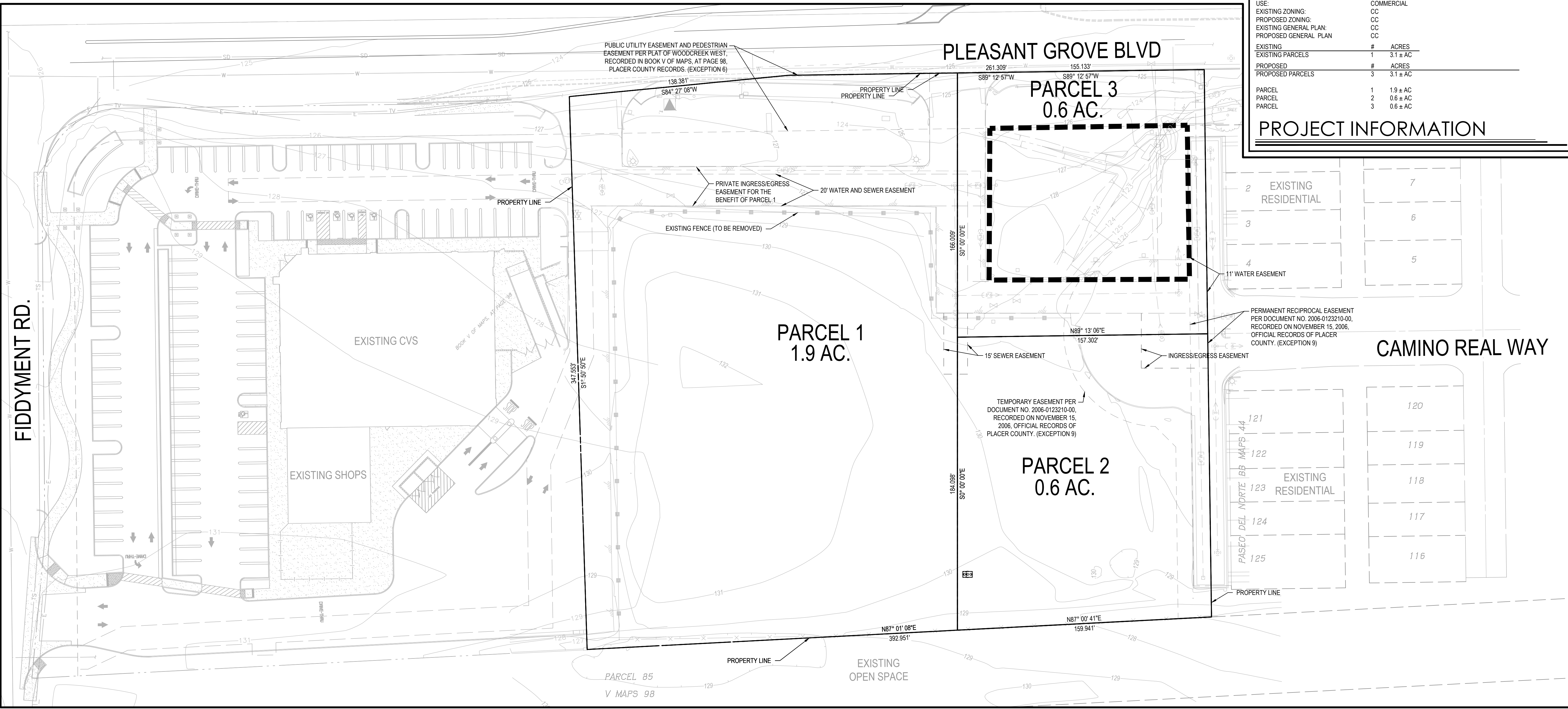
WATER:	CITY OF ROSEVILLE
WATERS:	CITY OF ROSEVILLE
GAS:	PG&E
ELECTRIC:	ROSEVILLE ELECTRIC
TELEPHONE:	ROSEVILLE TELEPHONE
CABLE TV:	COMCAST

SERVICE PROVIDERS

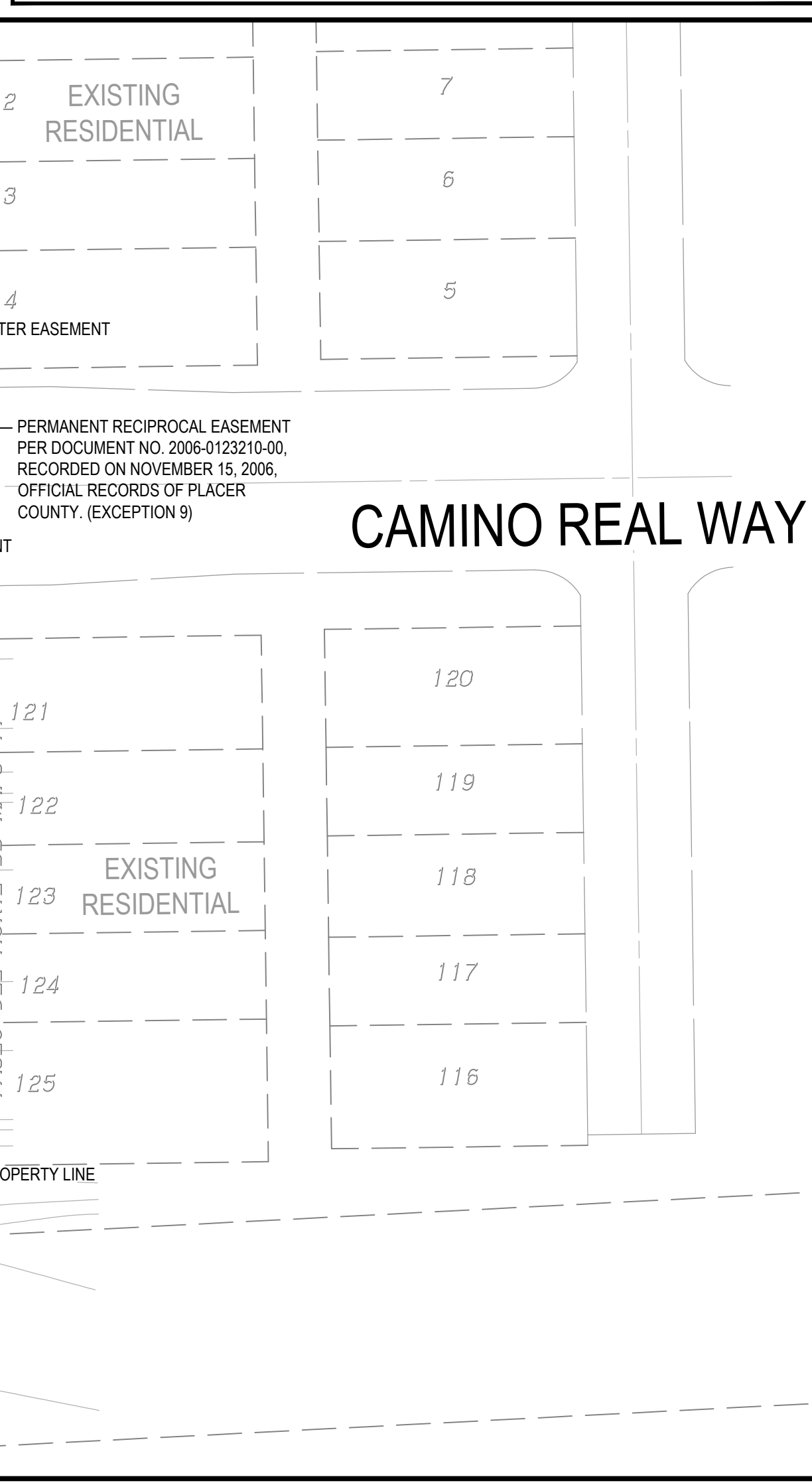
SCHOOL DISTRICT:	ROSEVILLE JOINT UNION HIGH SCHOOL DISTRICT ROSEVILLE ELEMENTARY SCHOOL DISTRICT
FIRE PROTECTION:	CITY OF ROSEVILLE
POLICE PROTECTION:	CITY OF ROSEVILLE
STORM DRAINAGE:	CITY OF ROSEVILLE
SOLID WASTE:	CITY OF ROSEVILLE

PROJECT INFORMATION

ASSESSOR PARCEL NUMBER	017-162-088-000
USE:	COMMERCIAL
EXISTING ZONING:	CC
PROPOSED ZONING:	CC
EXISTING GENERAL PLAN:	CC
PROPOSED GENERAL PLAN:	CC
EXISTING	# ACRES
EXISTING PARCELS	1 3.1 ± AC
PROPOSED	# ACRES
PROPOSED PARCELS	3 3.1 ± AC
PARCEL	1 1.9 ± AC
PARCEL	2 0.6 ± AC
PARCEL	3 0.6 ± AC



PROJECT INFORMATION



Dwg: X:\2020\20-001-00-GROCEERY OUTLET\DWG\PLANNING\20001-TM01.DWG | Sheet: 02 of 23 | 10:33am | RICHENG

REVISIONS

NO.	DESCRIPTION	APPD. ENGR.	DATE

SCALE:	BENCH MARK	COMPUTED
HORIZ. 1" = 30'		DESIGNED
VERT. 1" = N/A		DRAWN
		PROJ. ENGR.

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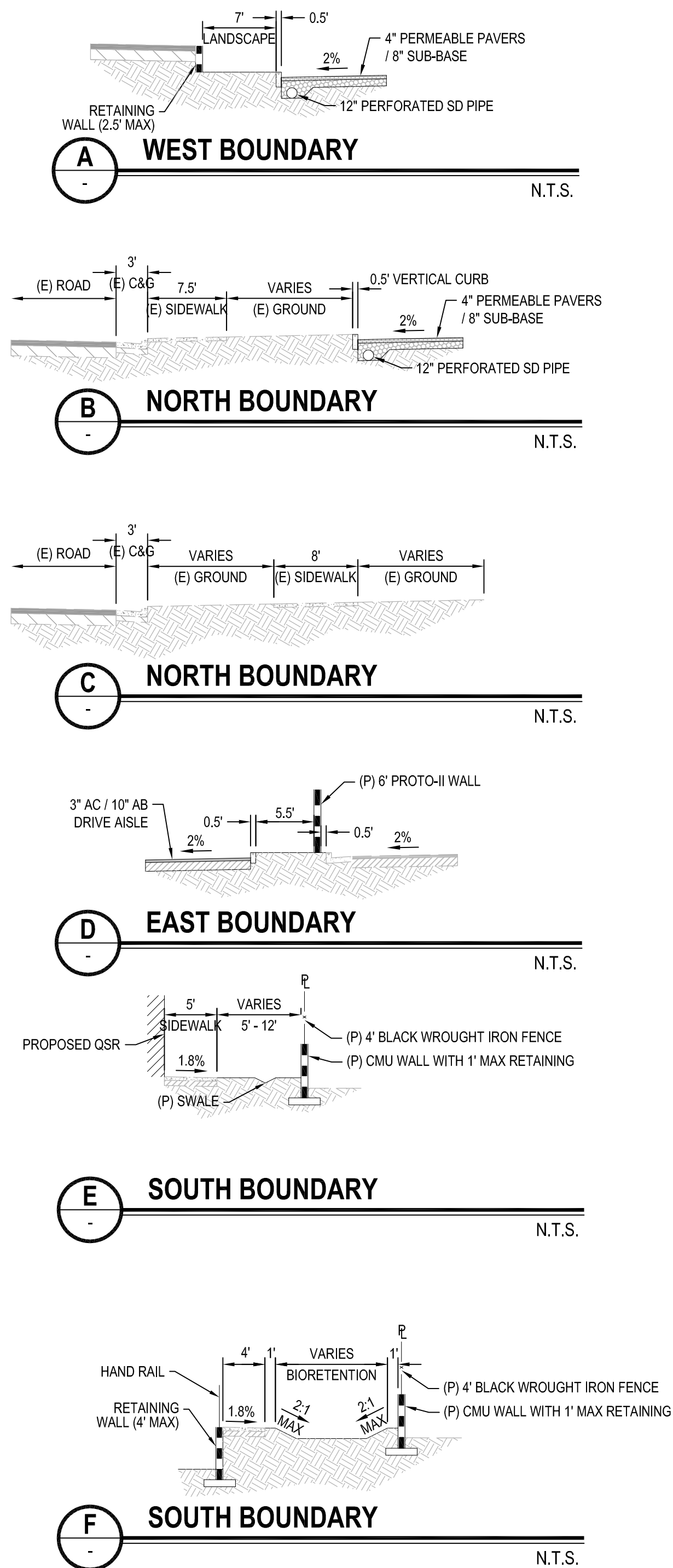
TENTATIVE MAP FOR
GROCEERY OUTLET
PLEASANT GROVE BLVD
 ROSEVILLE, CALIFORNIA

DATE	MARCH 23, 2023
SHEET	1
OF	1

NOT FOR CONSTRUCTION

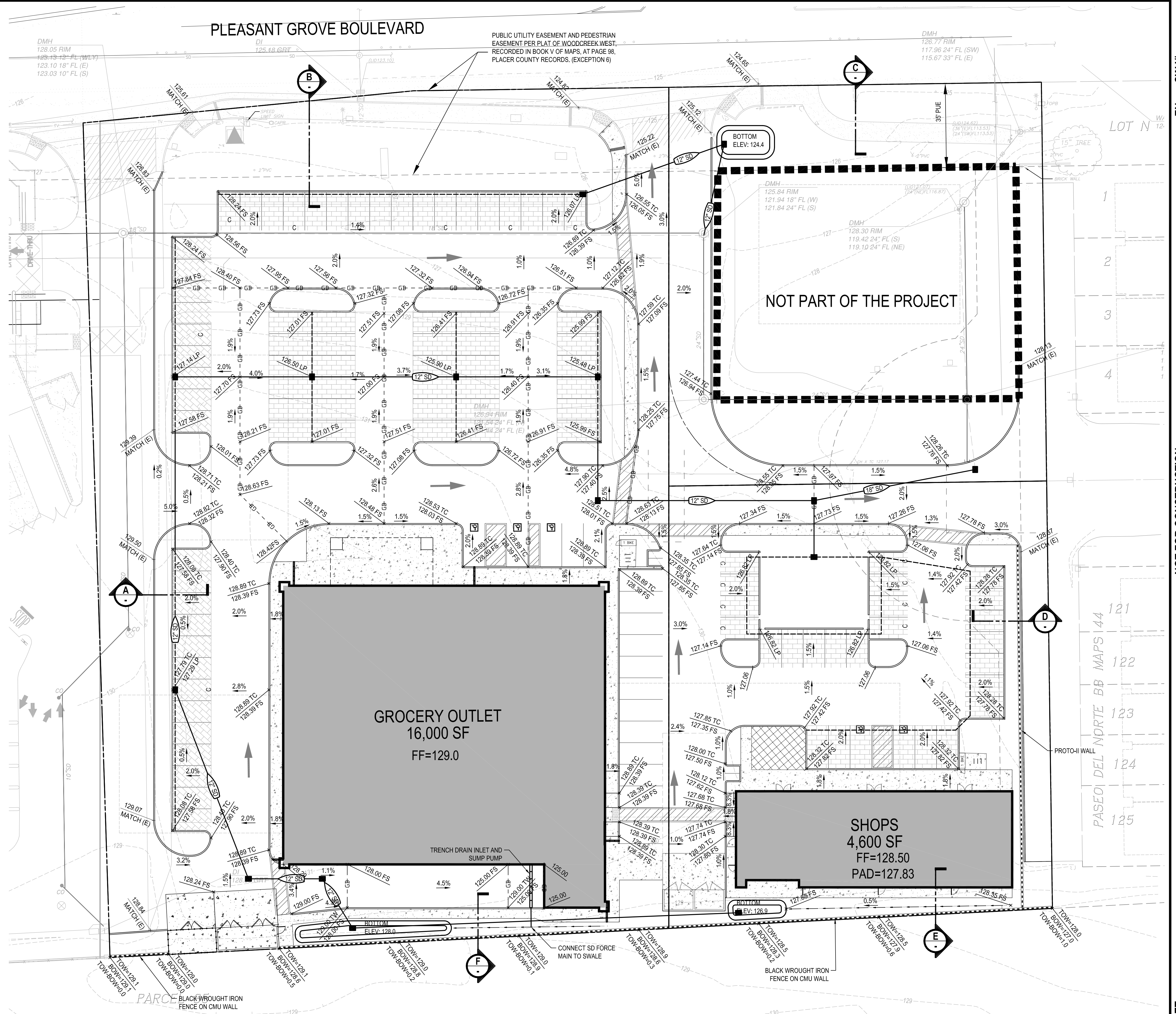
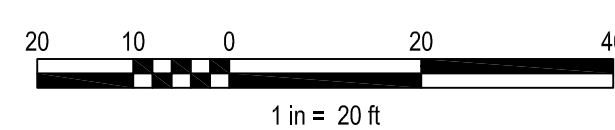
PLEASANT GROVE BOULEVARD

PUBLIC UTILITY EASEMENT AND PEDESTRIAN EASEMENT PER PLAT OF WOODCREEK WEST, RECORDED IN BOOK V OF MAPS, AT PAGE 98, PLACER COUNTY RECORDS, (EXCEPTION 6)



GRADING LEGEND

← OVERLAND RELEASE DIRECTION



Dwg: 20-0011-01-00 GROCERY OUTLET PRELIMINARY GRADING PLAN - 12/22/2023 11:33am RICHKING

NO.	DESCRIPTION	APPD. ENGR.	DATE	APPD. E.U.	DATE

SCALE:
HORIZ. 1" = 20'
VERT. 1" = N/A

BENCH MARK

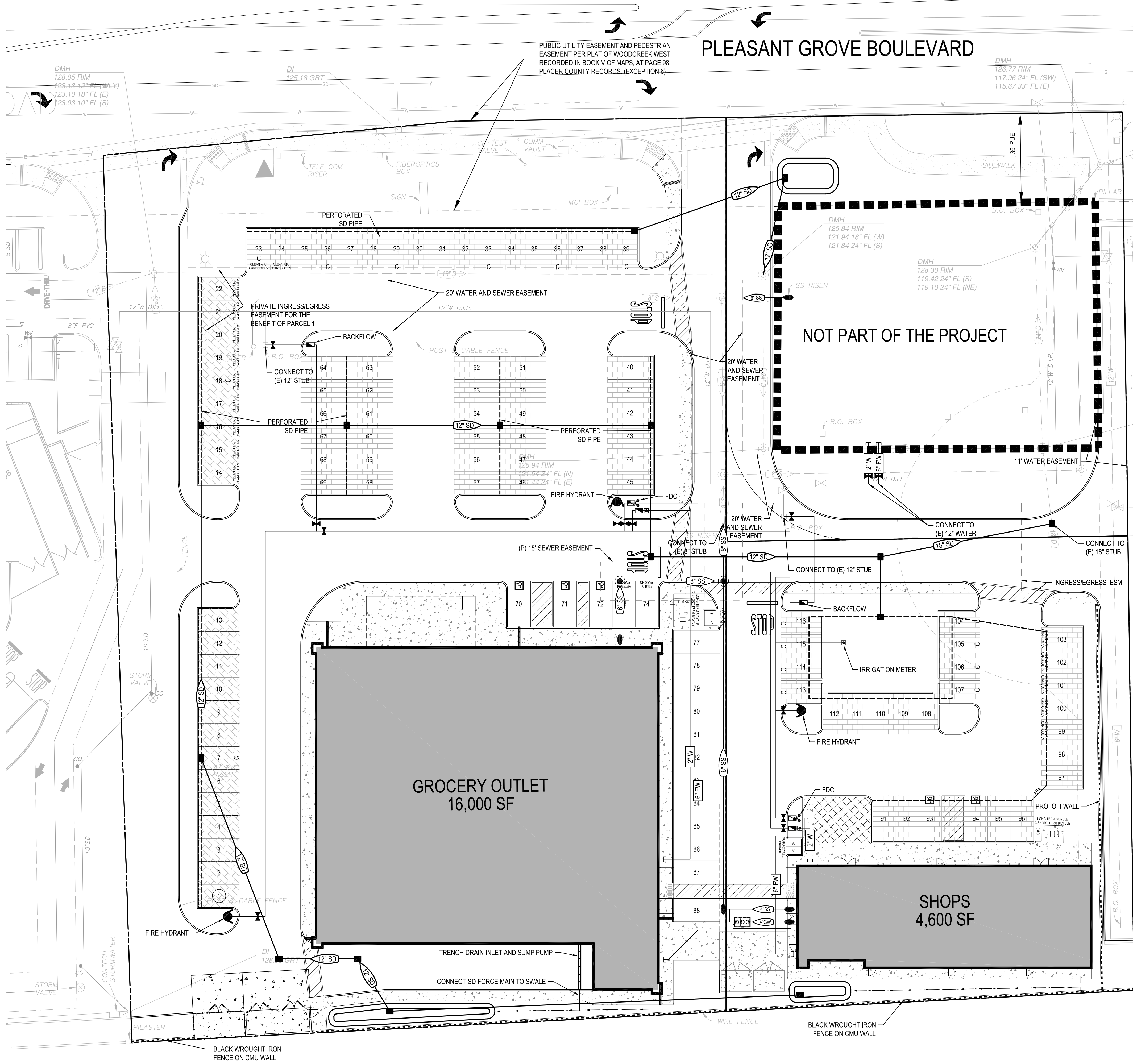
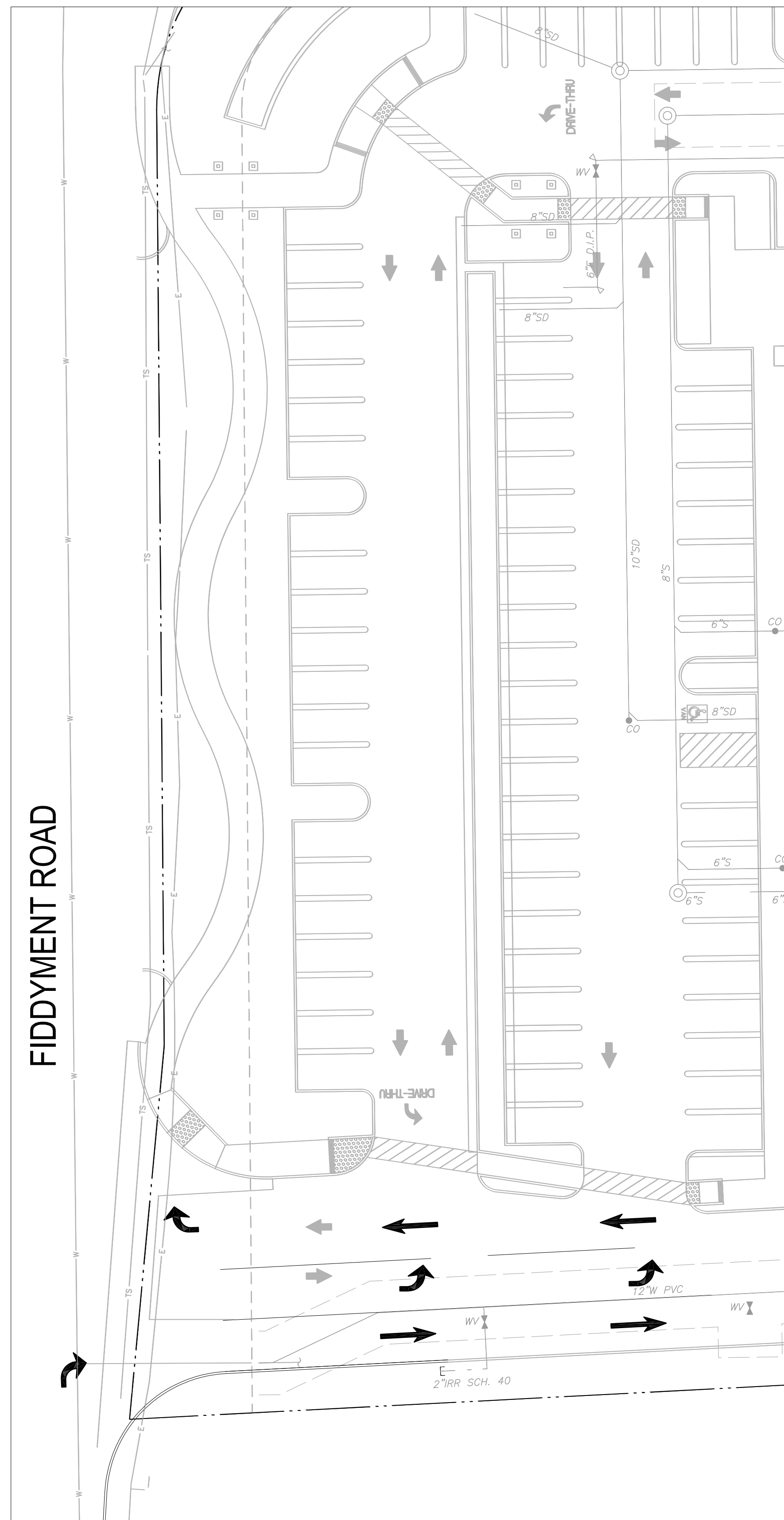
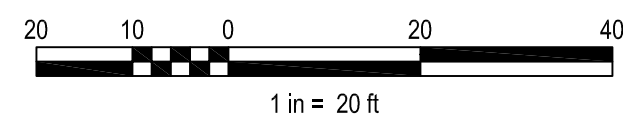
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PROJ. ENGR.

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PRELIMINARY PLAN FOR
GROCERY OUTLET
 1751 PLEASANT GROVE BOULEVARD
 PRELIMINARY GRADING PLAN
 ROSEVILLE, CALIFORNIA

DATE	MARCH 23, 2023
SHEET	2
OF	3

EN CWJ# NOT FOR CONSTRUCTION GROCERY OUTLET



Dwg: 20-0011-01-00 GROCERY OUTLET UTILITY PLAN (REVISED) 1/23/23 11:47 am RCH/ENR

NO.	DESCRIPTION	APPD. ENGR.	DATE	APPD. E.U.	DATE

SCALE:
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 VERT. 1" = N/A

BENCH MARK
 COMPUTED
 DESIGNED
 DRAWN
 PROJ. ENGR.

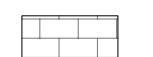
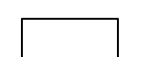
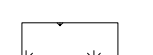
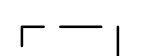


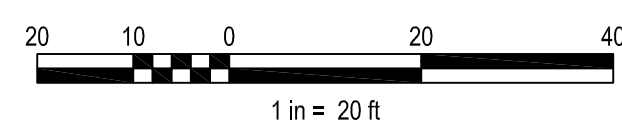
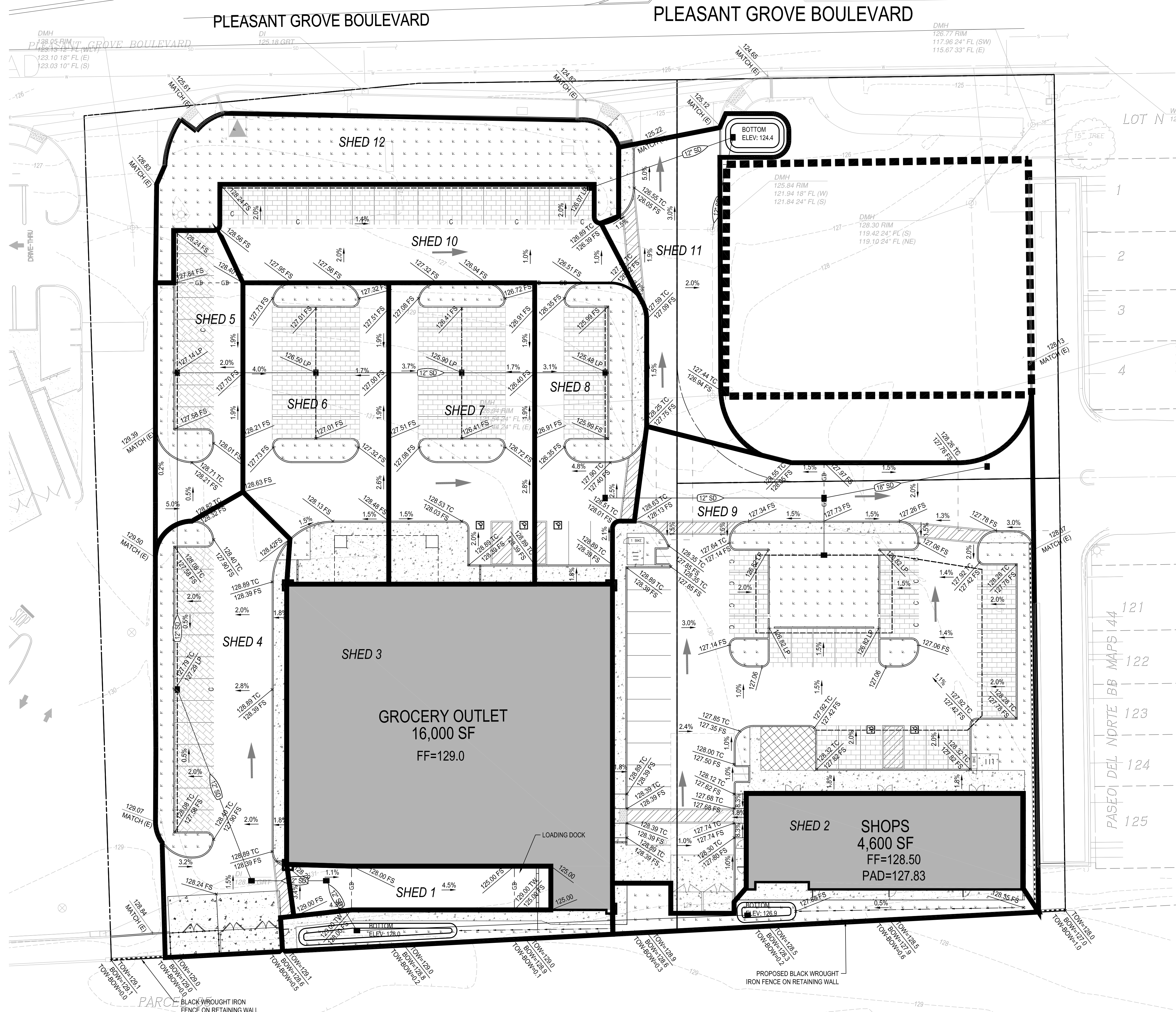
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PRELIMINARY PLAN FOR
GROCERY OUTLET
 1751 PLEASANT GROVE BOULEVARD
 PRELIMINARY UTILITY PLAN
 ROSEVILLE, CALIFORNIA

DATE	MARCH 23, 2023
SHEET	3
OF	3

EN CWJ# NOT FOR CONSTRUCTION GROCERY OUTLET

-  POROUS PAVEMENT
-  BIORETENTION BASIN
-  LANDSCAPE AREAS
-  APPROXIMATE UNDERGROUND DETENTION FOOTPRINT



Dwg: X:\2020\04-01-01-GROCERY OUTLET (2)S-HOSEVILLE\DWG\ENGINEERING\SHED MAPS\20230301-1-SHED MAP 2023.DWG | Scale: 1/2" = 20'-0" | Date: 3/23/2023

NO.	DESCRIPTION	APPD. ENGR.	DATE	APPD. E.U.	DATE

SCALE:	BENCH MARK
HORIZ. 1" = 20'	
VERT. 1" = N/A	

COMPUTED	
DESIGNED	
DRAWN	
PROJ. ENGR.	



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 Folsom, CA 95630
 phone: (916) 984-7621
 web: www.mpengr.com

SHED MAP FOR
GROCERY OUTLET
SHED MAP
1751 PLEASANT GROVE BOULEVARD
 ROSEVILLE, CALIFORNIA

DATE	MARCH 27, 2023
SHEET	1
OF	1


NOT FOR CONSTRUCTION

GENERAL PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT, INCLUDING ALL APPLICABLE JURISDICTION REQUIREMENTS.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY THE OWNER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY OWNER OF ANY CONFLICTS. UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND THE DESIGNER DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE OWNER OR OWNER'S REPRESENTATIVE PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES. PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUND COVER PATTERNS) SHALL TAKE PRECEDENCE.
 - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE IN WRITING (VIA PROPER CHANNELS).
 - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE OWNER OR OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

DECLARATION OF WATER EFFICIENT LANDSCAPE ORDINANCE

I HAVE COMPLIED WITH THE CRITERIA OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED SUCH CRITERIA FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.


 BLAKE RHINEHART, LANDSCAPE ARCHITECT
 CA LICENSE #6255
 REGISTRATION
 EVERGREEN DESIGN GROUP
 11801 PIERCE STREET, SUITE 200
 RIVERSIDE, CA 92505

01-13-23
 DATE
 08-31-23
 EXP. DATE

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" LAYER OF DECORATIVE REDWOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AREAS). ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

DESIGN INTENT DESCRIPTIONS

SCREENING INTENT:

PLANTING ALONG THE SOUTH PROPERTY LINE WILL CONSIST OF LARGE, DROUGHT TOLERANT EVERGREEN SHRUBS, 10-15' TALL.

TRASH ENCLOSURES WILL BE SCREENED WITH LARGE, DROUGHT TOLERANT EVERGREEN SHRUBS, 10-15' TALL.

ENTRY TREATMENT:

PLANTING AT THE ENTRY WILL BE HIGHLIGHTED BY LRGE SWATHS OF LOW GRASS PLANTING WITH COLORFUL ACCENT SHURB BORDERS. SHRUBS WILL BE LOW TO MAINTAIN SIGHT VISION LINES.
















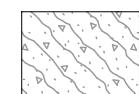
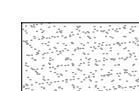
PLANT MATERIALS WILL BE WATERED BY A FULLY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. WATER EFFICIENCY AND CONSERVATION MEASURES WILL BE INCORPORATED.

PARKING LOT SHADE CALCULATIONS

TREE	100%	50%	25%
ARBUTUS MARINA 962 SF VALUE		1 TREES @ 481 = 481	7 TREES @ 245.5 = 1,718
LAGESTROEMIA INDICA 491 SF VALUE		3 TREES @ 245.5 = 736	
PISTACHE CHINENSIS 1590 SF VALUE		10 TREES @ 795 = 7,950	
PLATANUS X ACERFOLIA 962 SF VALUE			6 TREES @ 245.5 = 1,473
CALCULATED TOTAL	= 0 SF	= 8,807 SF	= 3,191 SF

PARKING AREA: 18,446 SF
 SHADING REQUIRED: 9,223 SF (50%)
 PERCENT SHADED: 11,998 SF (65%)

PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME	SIZE	WUCOLS	CAL	MATURE SIZE (W'XH')	QTY	REMARKS
	ARB MIY	ARBUTUS X 'MARINA' MARINA STRAWBERRY TREE	15 GAL	L		30' X 40'	8	PARKING LOT TREE/FRONTAGE TREE
	LAG IND	LAGESTROEMIA INDICA CRAPE MYRTLE	15 GAL	L		25' X25'	3	PARKING LOT TREE/ACCENT TREE
	PIS CHI	PISTACIA CHINENSIS CHINESE PISTACHE	15 GAL	L		35'-40'	10	PARKING LOT TREE
	PLA ACE	PLATANUS X ACERIFOLIA LONDON PLANE TREE	15 GAL	M		30' X 40'	6	STREET TREE/PARKING LOT TREE
SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	WUCOLS		MATURE SIZE (W'XH')	SPACING	QTY
	CAL ACF	CALAMAGROSTIS X ACUTIFLORA FEATHER REED GRASS	5 GAL	L		3X5	48" o.c.	30
	COL SUN	COLEONEMA PULCHRUM 'SUNSET GOLD' SUNSET GOLD BREATH OF HEAVEN	5 GAL	L		2X4	48" o.c.	16
	COR BSI	CORDYLINE BANKSII CORDYLINE	5 GAL	M		2X2	24" o.c.	7
	HET ARB	HETEROMELES ARBUTIFOLIA TOYON	5 GAL	L		6X8	96" o.c.	28
	JUN PAT	JUNCUS PATENS CALIFORNIA GRAY RUSH	1 GAL	M		2X3	24" o.c.	52
	LAG CHI	LAGESTROEMIA INDICA 'MONIK' TM CHICA PINK DWARF CRAPE MYRTLE	15 GAL	VL		6'-8'	72" o.c.	27
	LAV ANG	LAVANDULA ANGSTIFOLIA ENGLISH LAVENDER	1 GAL	L		2'-3'	42" o.c.	221
	MUH RIG	MUHLENBERGIA RIGENS DEER GRASS	5 GAL	L		3'-4'	54" o.c.	172
	PRU COM	PRUNUS CAROLINIANA 'COMPACTA' COMPACT CAROLINA LAUREL CHERRY	5 GAL	L		6'-8'	60" o.c.	6
	ROS CAL	ROSA CALIFORNICA CALIFORNIA WILD ROSE	5 GAL	L		4X5	60" o.c.	6
	WES FRU	WESTRINGIA FRUTICOSA COAST ROSEMARY	5 GAL	L		3X4	48" o.c.	94
GROUND COVERS		BOTANICAL / COMMON NAME	SIZE	WUCOLS		MATURE SIZE (W'XH')	SPACING	QTY
		ARCTOSTAPHYLOS LIVA-URSI 'POINT REYES' POINT REYES KINKINNICK	FLAT	L		1'X4'	30" o.c.	628
		CONCRETE STEP OUT BY OTHERS	-					384 SF

POTTING NOTE

ALL POTS SHALL RECEIVE PLANT MATERIAL AS SHOWN ON LANDSCAPE PLANTING PLAN. ADDITIONALLY CONTRACTOR SHALL INSTALL FLOWERING ANNUALS IN THE REMAINDER OF THE PLANTING AREA WITHIN THE POT. CONTRACTOR TO SUBMIT FLOWERING ANNUAL SELECTION TO THE OWNER AND LANDSCAPE ARCHITECT.

ALL POTS TO RECEIVE IRRIGATION FROM THE AUTOMATED IRRIGATION SYSTEM, REFER TO IRRIGATION PLANS.

POTS SHALL BE CENTERED ON THE ADJACENT WINDOW OR BUILDING WALL. CONFIRM FINAL LOCATION WITH THE OWNER PRIOR TO INSTALLATION.

POTS TO BE SELECTED BY OWNER

PROJECT TEAM

LANDSCAPE ARCHITECT:
 EVERGREEN DESIGN GROUP
 11801 PIERCE STREET, SUITE 200
 RIVERSIDE, CA 92505
 800-680-6630
 WWW.EVERGREENDESIGNGROUP.COM
 CONTACT: BLAKE RHINEHART, PLA
 EMAIL: BLAKE@EVERGREENDESIGNGROUP.COM

PLANTING AND IRRIGATION GUARANTEE

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE THAT ALL NEWLY INSTALLED AND EXISTING PLANTS SHALL SURVIVE FOR ONE YEAR AFTER FINAL OWNER ACCEPTANCE OF THE INSTALLATION WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR APPROPRIATE WATERING OF THE LANDSCAPE THROUGH INSTALLATION OF A PROPERLY DESIGNED IRRIGATION SYSTEM. THE OWNER SHALL APPROVE THE SYSTEM DESIGN BEFORE INSTALLATION OF PLANTS OR IRRIGATION.

LANDSCAPE CALCULATIONS

SITE DATA
 TOTAL SITE AREA: 112,540 SF

SITE LANDSCAPE AREA
 LANDSCAPE PROVIDED: 17,600 SF (15.6% OF SITE)

TURF AREA PROVIDED: 0 SF

PARKING SPACES PROVIDED: 133 SPACES
 PARKING LOT TREES PROVIDED: 26 TREES



Owner

Project Name
GROCERY OUTLET
 PLEASANT GROVE BLVD.
 ROSEVILLE, CA

LANDSCAPE COVER SHEET

Date	Comment
1/13/23	ENTITLEMENT CYCLE 2

Project Number
 Date: 01-13-23
 Drawn By: BR
 Checked By: BR/RM

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PLANTING SPECIFICATIONS

GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR**
- ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
 - A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
- B. SCOPE OF WORK**
- WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
 - THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.**
- B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS**
- FURNISH NURSERY-GROWN PLANTS, COMPLYING WITH THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014). PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
 - ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENKNOTTING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
 - TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
 - ANY PLANT DEEMED UNACCEPTABLE BY THE OWNER OR OWNER'S REPRESENTATIVE SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE OWNER OR OWNER'S REPRESENTATIVE SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
 - ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. FRUITING TREES SHALL BE STANDARD.
 - CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
 - MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL, WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
 - ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
- C. SOD:** PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.
- D. TOPSOIL:** SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/2 INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
- E. COMPOST:** WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 55 TO 65 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECIGRAMS/L; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
- F. FERTILIZER:** GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).
- G. MULCH:** SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
- H. TREE STAKING AND GUYING**
- STAKES: 6' LONG GREEN METAL T-POSTS.
 - GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
 - STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
- I. STEEL EDGING:** PROFESSIONAL STEEL EDGING, 14 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COOL-MET OR APPROVED EQUAL.
- J. PRE-EMERGENT HERBICIDES:** ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

METHODS

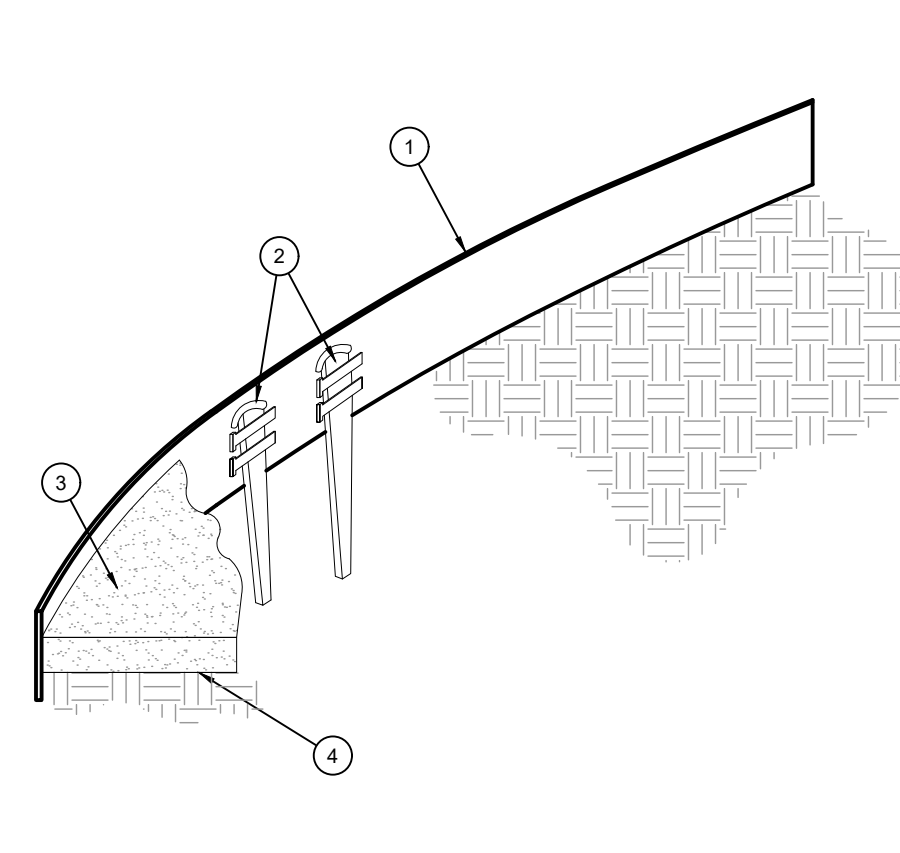
- A. SOIL PREPARATION**
- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
 - SOIL TESTING:
 - AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LABORATORY SHALL CONTAIN LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
 - THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
 - THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
 - THE SOIL REPORT PREPARED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
 - THE CONTRACTOR SHALL INCORPORATE SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
 - FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
 - TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000 S.F.
 - "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
 - TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
 - "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
 - IRON SULPHATE - 2 LBS. PER CU. YD.
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE GENERAL CONTRACTOR, OWNER, OR OWNER'S REPRESENTATIVE.
- ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.
- B. SUBMITTALS**
- THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE OWNER OR OWNER'S REPRESENTATIVE, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES.
 - SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREES/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
 - SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).
 - WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.
- C. GENERAL PLANTING**
- REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
 - EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
 - POSITION THE TREES AND SHRUBS IN THEIR INTENDED LOCATION AS PER THE PLAN. NOTIFY THE OWNERS

- REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL POSITIONING OF PLANT MATERIALS.
- TRENCHING NEAR EXISTING TREES:**
- CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1' FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
 - ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
 - ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
 - ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.

- D. TREE PLANTING**
- TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE WIDTH OF THE ROOTBALL LESS TWO TO FOUR INCHES.
 - SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
 - FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
 - INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
 - BACKFILL THE TREE HOLE WITH THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL.
 - TREES SHALL NOT BE STAKED UNLESS THE JURISDICTION OR LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL REMOVE THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
 - 1"-2" TREES (OR #16 GAL - 24" BOX): TWO STAKES PER TREE
 - 2"-1/2" TREES (OR 36" - 48" BOX): THREE STAKES PER TREE
 - TREES OVER 4" (OR 48" - 60" BOX): GUY AS NEEDED
 - MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
 - UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH MULCH (TYPE AND DEPTH PER PLANS).
 - FOR TREES IN TURF AREAS, DO NOT PLANT GRASS ALL THE WAY TO THE TRUNK OF THE TREE. LEAVE THE AREA OVER THE ROOT BALL AND INSTALL MULCH WITH AT LEAST 2" OF SPECIFIED MULCH. SEE MULCH SPECIFICATION FOR ADDITIONAL INFORMATION.

- E. SHRUB, PERENNIAL, AND GROUNDCOVER PLANTING**
- DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
 - INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.
 - WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.
- F. SODDING**
- SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
 - LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
 - LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.
 - ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
 - WATER THE SOD THOROUGHLY WITH A FINE MIST IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.
- I. MULCH**
- INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
 - DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE. MULCH AT THE BASE OF SHRUBS SHALL BE A MAXIMUM 1" DEPTH OVER ROOT BALL.
 - MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. FINISH GRADE OF MULCH AT CURBS AND SIDEWALKS SHALL BE 1" LOWER THAN THE ADJACENT CURB OR SIDEWALK. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
- J. CLEAN UP**
- DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
 - DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.
- K. INSPECTION AND ACCEPTANCE**
- UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
 - WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
 - THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.

- L. LANDSCAPE MAINTENANCE**
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTling OF PLANTS THAT HAVE SETTLED, MOVING AND AERATION OF LAWNS, WEEDING, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
 - SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
 - TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
 - THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
 - ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
 - SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOVED.
- M. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS**
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
 - AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR THE REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.
- PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.

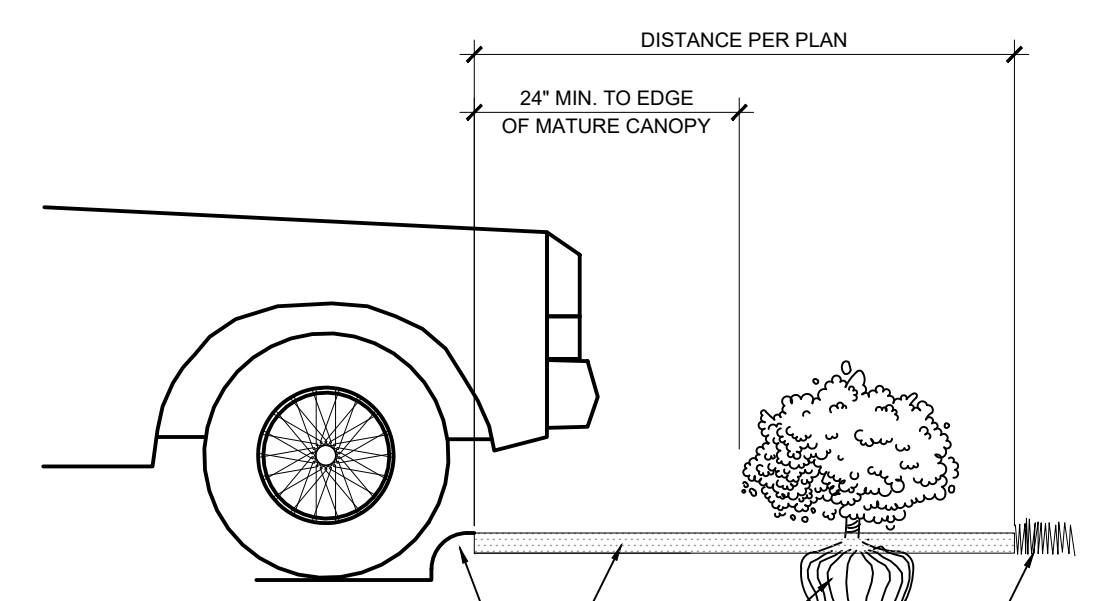


- STAKING EXAMPLES (PLAN VIEW)**
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- ROLLED-TOP STEEL EDGING PER PLANS.
 - TAPERED STEEL STAKES.
 - MULCH, TYPE AND DEPTH PER PLANS.
 - FINISH GRADE.

- NOTES:**
- INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.
 - BOTTOM OF EDGING SHALL BE BURED A MINIMUM OF 1" BELOW FINISH GRADE.
 - TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.

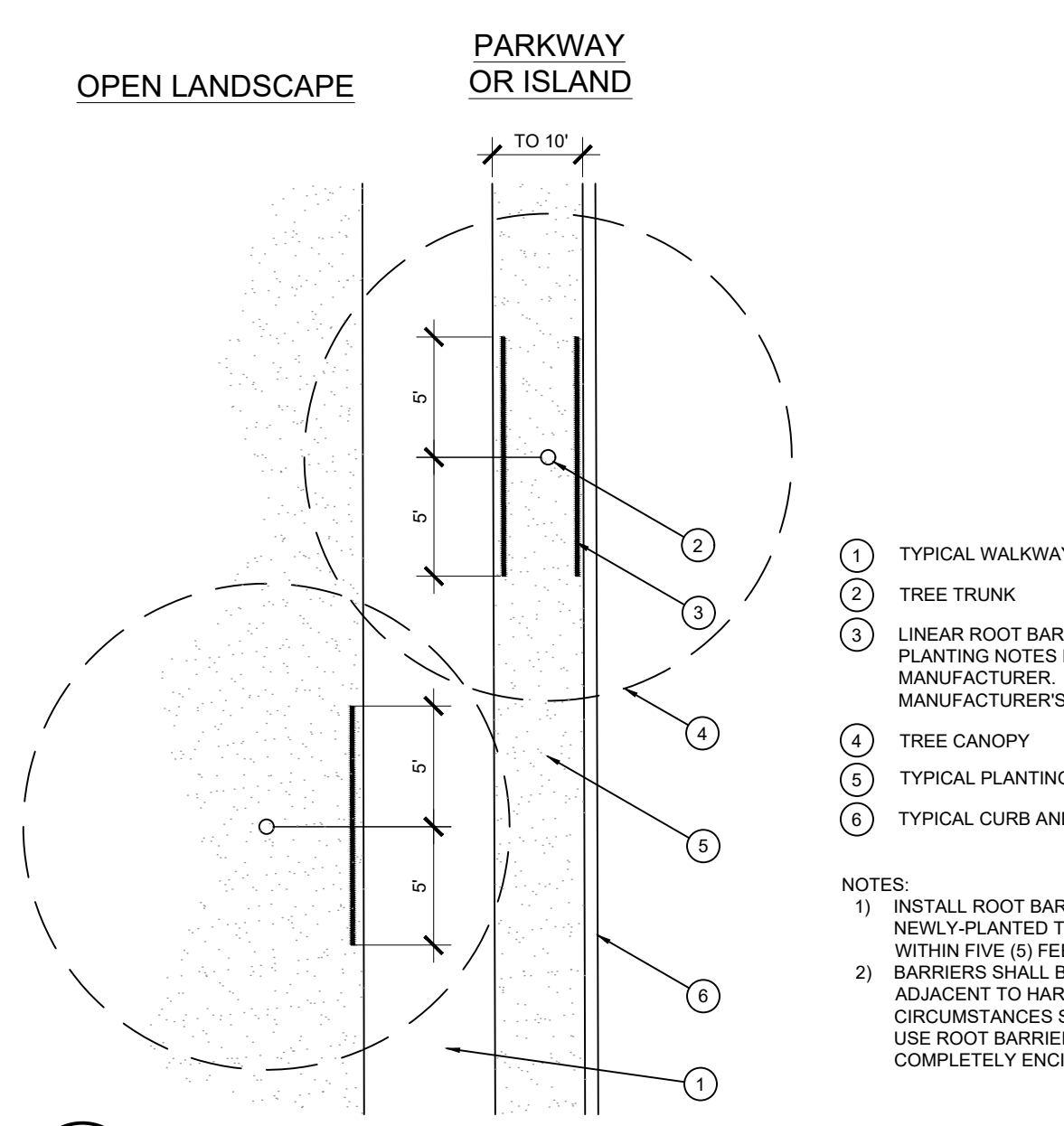
D STEEL EDGING

SCALE: NOT TO SCALE



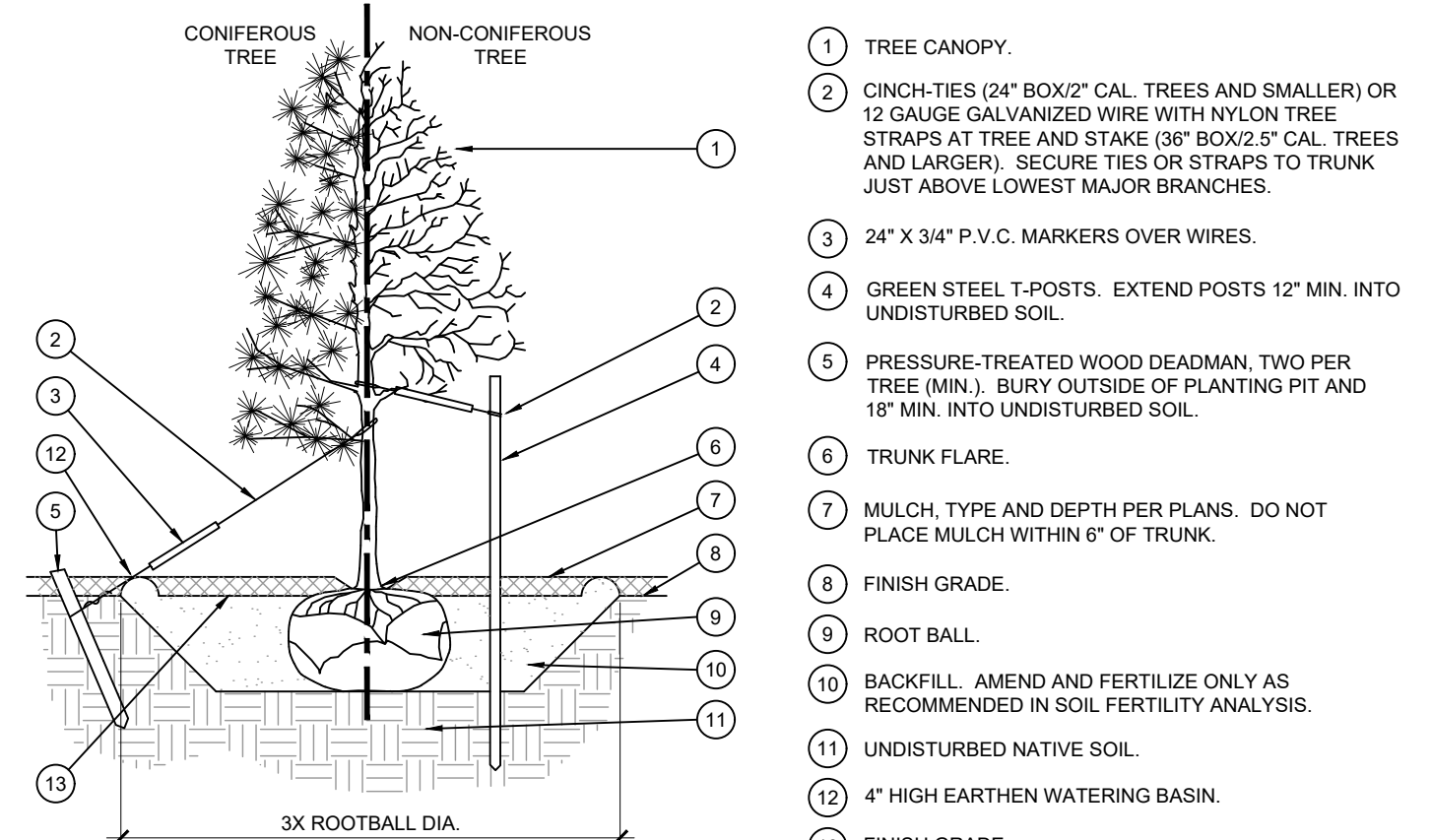
E PLANTING AT PARKING AREA

SCALE: NOT TO SCALE



F ROOT BARRIER - PLAN VIEW

SCALE: NOT TO SCALE

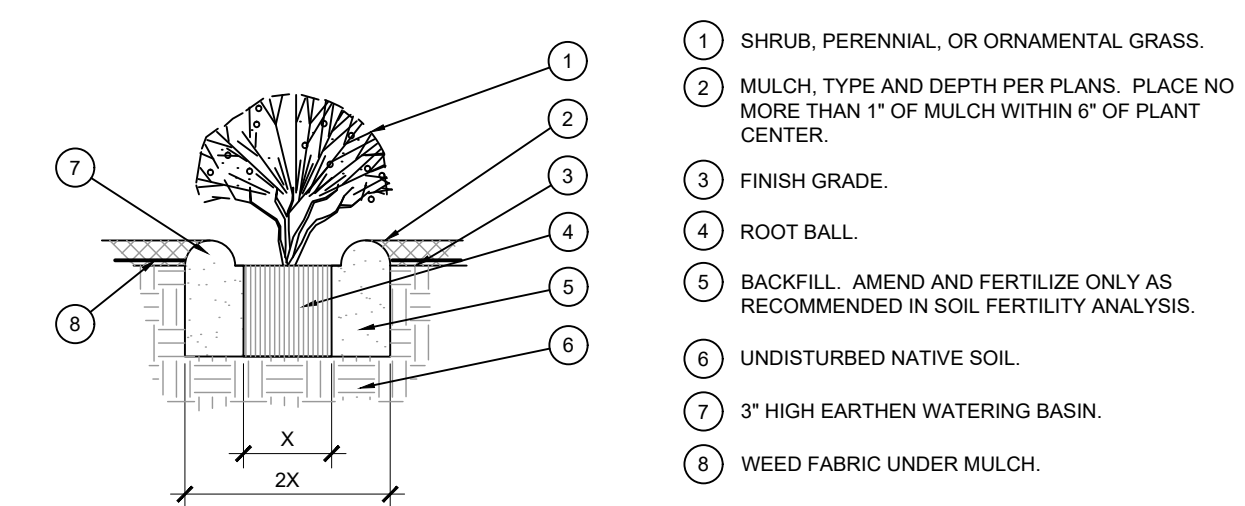


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 - BOTTOM OF EDGING SHALL BE BURED A MINIMUM OF 1" BELOW FINISH GRADE.
 - TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.

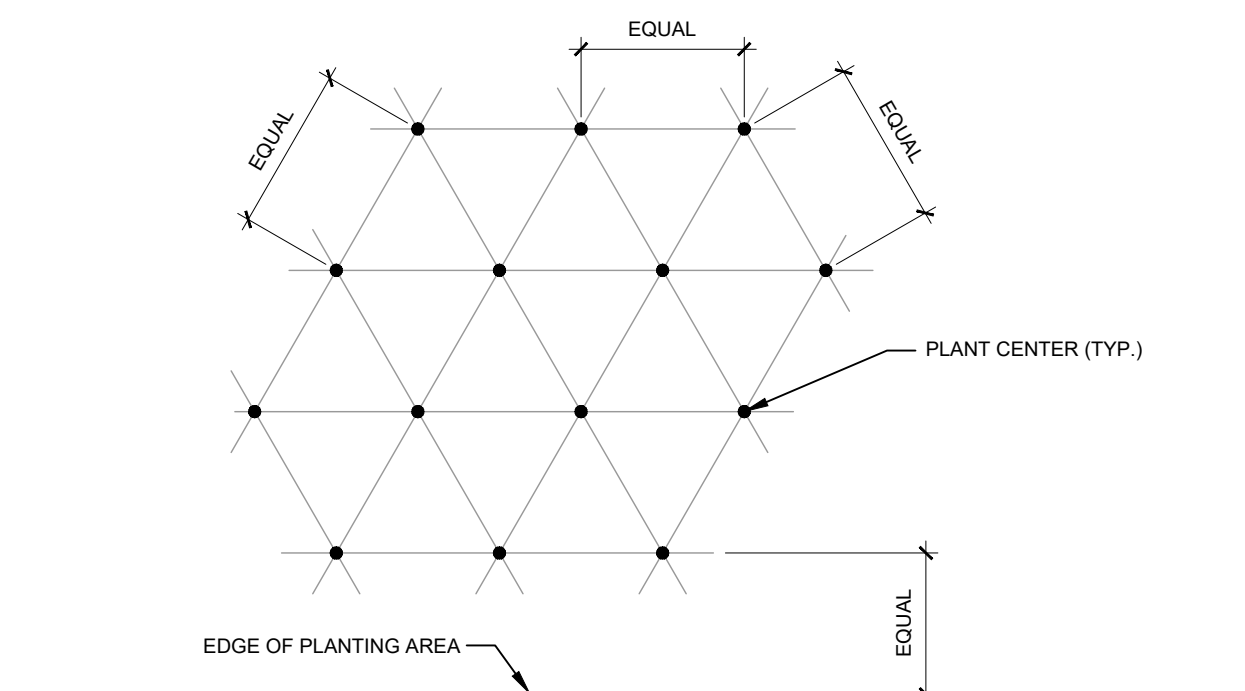
A TREE PLANTING

SCALE: NOT TO SCALE



B SHRUB AND GROUNDCOVER PLANTING

SCALE: NTS



NOTE: ALL PLANTS SHALL BE PLANTED AT EQUAL TRIANGULAR SPACING (EXCEPT WHERE SHOWN ON PLANS AS INFORMAL GROUPINGS). REFER TO PLANT LEGEND FOR SPACING DISTANCE BETWEEN PLANTS.

STEP 1: DETERMINE TOTAL PLANTS FOR THE AREA WITH THE FOLLOWING FORMULA:
TOTAL AREA / AREA DIVIDER = TOTAL PLANTS

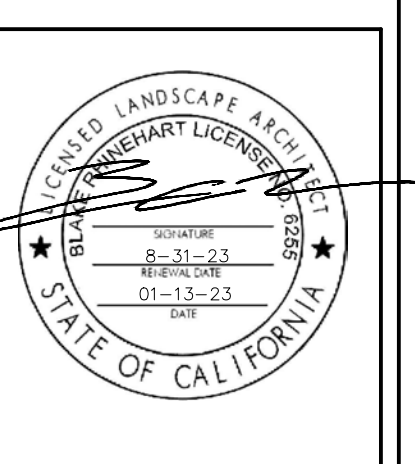
PLANT SPACING	AREA DIVIDER	PLANT SPACING	AREA DIVIDER
6"	0.22	18"	1.95
8"	0.39	24"	3.46
10"	0.54	30"	5.44
12"	0.87	36"	7.79
15"	1.35		

STEP 2: SUBTRACT THE ROW(S) OF PLANTS THAT WOULD OCCUR AT THE EDGE OF THE PLANTED AREA WITH THE FOLLOWING FORMULA: TOTAL PERIMETER LENGTH / PLANT SPACING = TOTAL PLANT SUBTRACTION

EXAMPLE: PLANTS AT 18" O.C. IN 100 SF PLANTING AREA, 40 LF PERIMETER
STEP 1: 100 SF / 1.95 = 51 PLANTS
STEP 2: 51 PLANTS - (40 LF / 1.95 + 21 PLANTS) = 30 PLANTS TOTAL

C PLANT SPACING

SCALE: NTS



Owner

Project Name

GROCERY OUTLET
PLEASANT GROVE BLVD.
ROSEVILLE, CA

LANDSCAPE PLANTING DETAILS & SPECS

Date	Comment
10/23	ENTITLEMENT CYCLE 2

Project Number

Date **01-13-23**

Drawn By **BR**

Checked By **BR/RM**

LP-2

Owner

Project Name

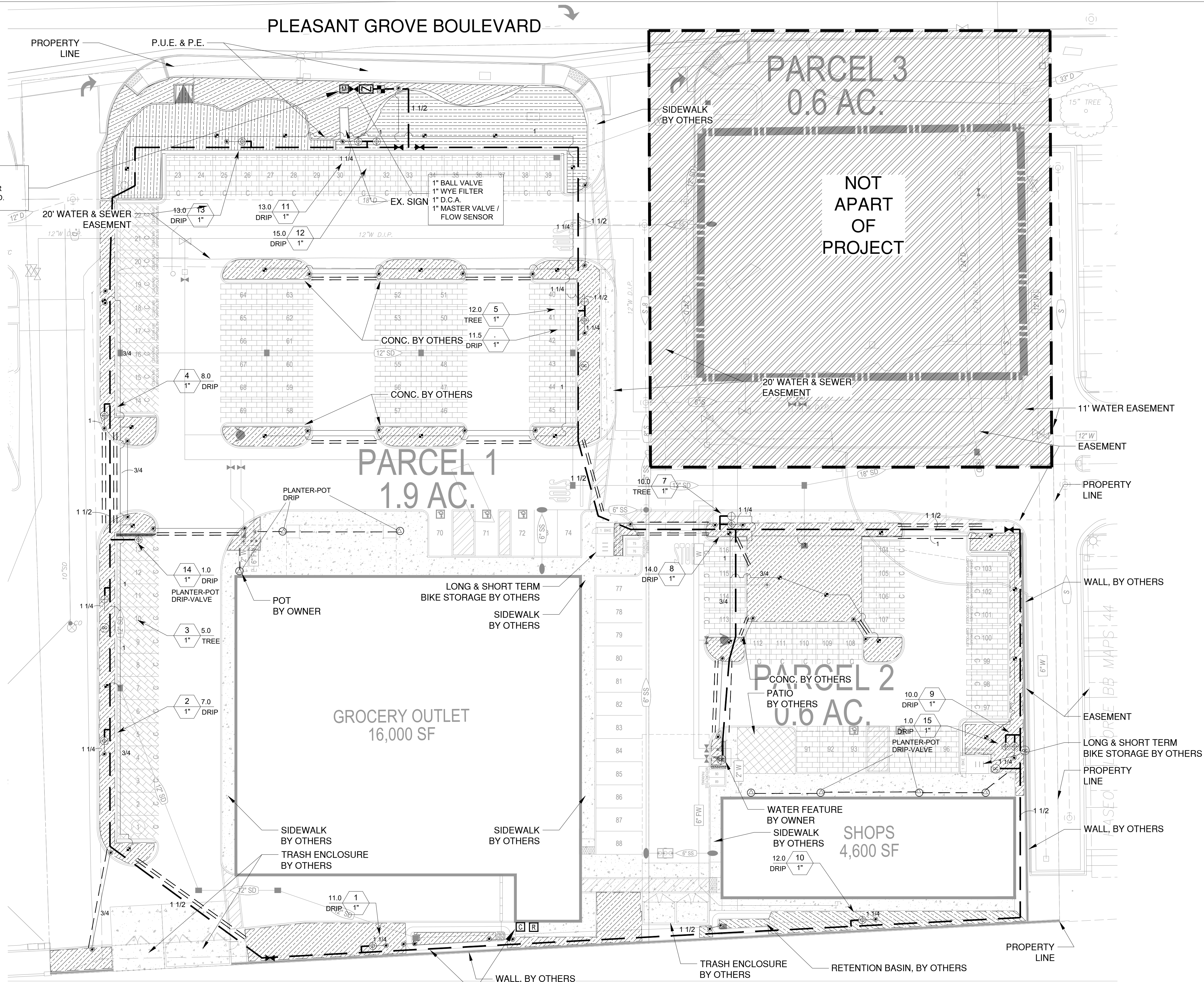
GROCERY OUTLET
PLEASANT GROVE BLVD.
ROSEVILLE, CA

IRRIGATION PLAN

Date	Comment
1/13/23	ENTITLEMENT CYCLE 2

Project Number	
Date	01-13-23
Drawn By	BR
Checked By	BR/RM

LI-1



POINT OF CONNECTION
CONNECT MAINLINE DOWNSTREAM OF 1" WATER METER (BY OTHERS). VERIFY LOCATION IN FIELD.

CONTROLLER NOTE
LOCATE CONTROLLER AT LOCATION SHOWN ON PLAN. VERIFY LOCATION IN FIELD WITH OWNER'S REPRESENTATIVE.

120 VAC POWER TO CONTROLLER LOCATION IS NOT WITHIN THE IRRIGATION CONTRACTOR'S SCOPE OF WORK, AND SHALL BE PROVIDED BY OTHERS. HOOK-UP OF CONTROLLER TO 120 VAC SHALL BE PERFORMED BY THE IRRIGATION CONTRACTOR. IRRIGATION CONTRACTOR SHALL COORDINATE LOCATION OF WIRE SLEEVE PENETRATIONS THROUGH BUILDING WITH OWNER AND GENERAL CONTRACTOR. STATION RUN ORDER SHALL MATCH PLANS.

IRRIGATION DISCLAIMER

THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, AND OTHER EQUIPMENT SHOWN WITHIN PAVED AREAS OR OUT OF PROPERTY BOUNDARIES ARE FOR DESIGN CLARIFICATION ONLY, AND SHALL BE INSTALLED IN PLANTING AREAS WITHIN THE PROPERTY LINES OR LIMITS INDICATED ON PLAN. THE IRRIGATION CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL ABOVE-GRADE IRRIGATION EQUIPMENT WITH THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION, OR IRRIGATION CONTRACTOR MAY BE REQUIRED TO MOVE SUCH ITEMS AT HIS OWN COST.

IRRIGATION CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL FINAL QUANTITIES PER DRAWINGS AND SPECIFICATIONS. ANY QUANTITIES PROVIDED ARE PROVIDED AS A CONVENIENCE TO THE CONTRACTOR ONLY AND SHALL NOT BE CONSIDERED ABSOLUTE.

AUTOMATIC DRAIN VALVES AND AIR RELIEF VALVES

INSTALL AUTOMATIC DRAIN VALVES AT THE LOW POINTS OF EACH LATERAL LINE (MIN. 2 PER VALVE) AS PER DETAIL ON SHEET LI-2. INSTALL AIR RELIEF VALVES ON DRIP SYSTEMS AT THE LOCATIONS SHOWN ON THE PLANS, AS PER DETAILS.

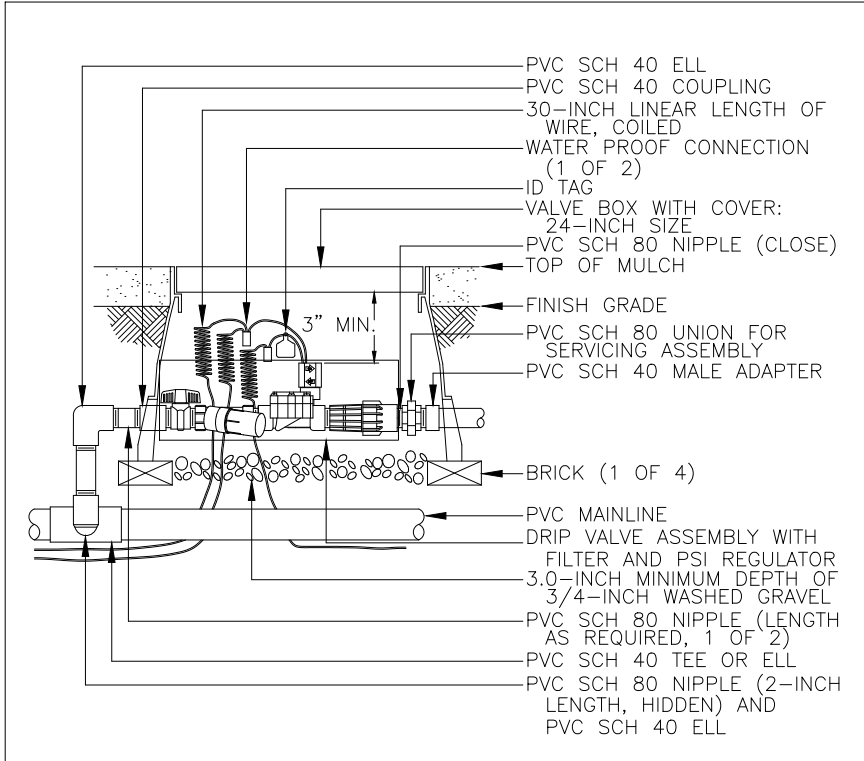
SLEEVING / WIRING NOTES:

IN ADDITION TO PROVIDING SLEEVES FOR ALL PIPING UNDER ROADWAYS AND WALKWAYS, THE IRRIGATION CONTRACTOR SHALL PROVIDE AND INSTALL SCH. 40 PVC SLEEVES FOR ALL CONTROLLER WIRES OCCURRING UNDER ALL ROADWAYS AND WALKWAYS. SLEEVES FOR CONTROLLER WIRES SHALL BE 2" DIA. AND CONTAIN NO MORE THAN 25 WIRES. **FOR PLAN CLARITY, ONLY SOME REPRESENTATIVE SLEEVES ARE SHOWN; SOME SLEEVES MAY NOT BE SHOWN.**

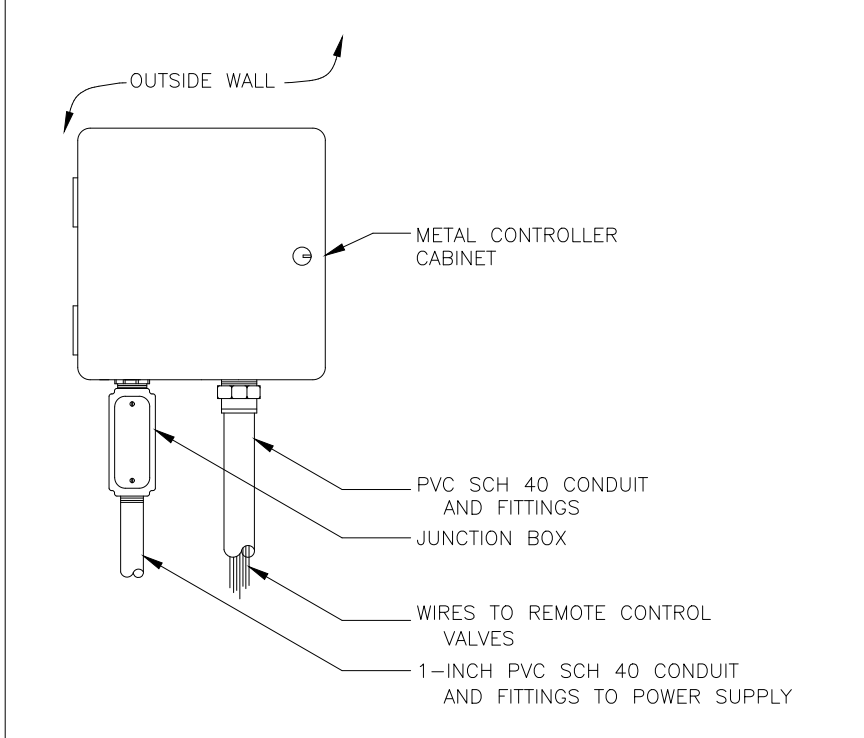
REFER TO SHEET LI-3 FOR IRRIGATION SCHEDULE, NOTES AND CALCULATIONS

Date	Comment
1/03/23	ENTITLEMENT CYCLE 2

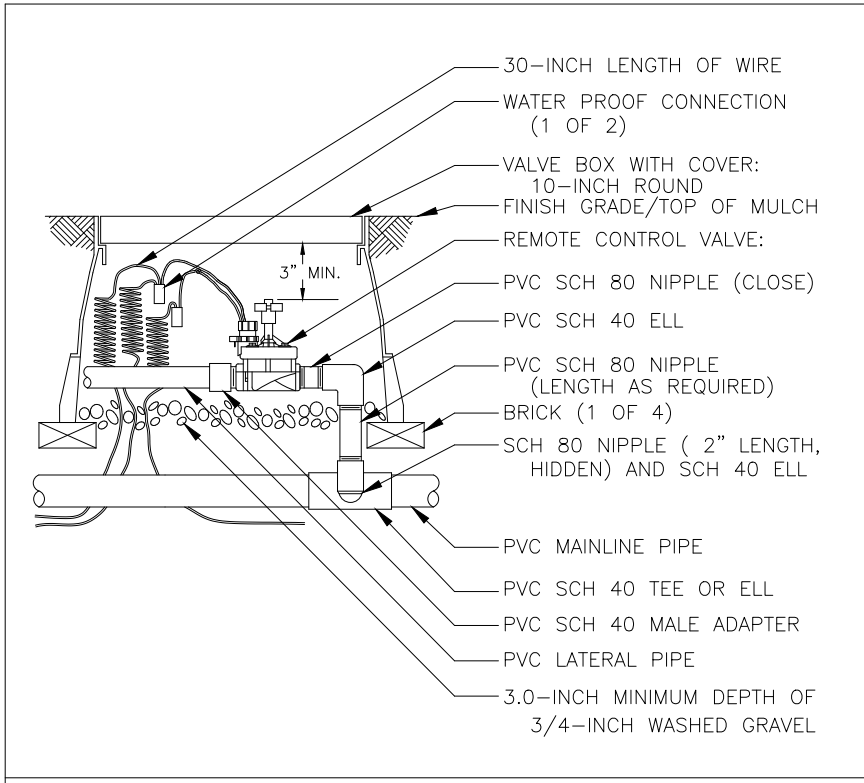
Project Number	
Date	01-13-23
Drawn By	BR
Checked By	BR/RM



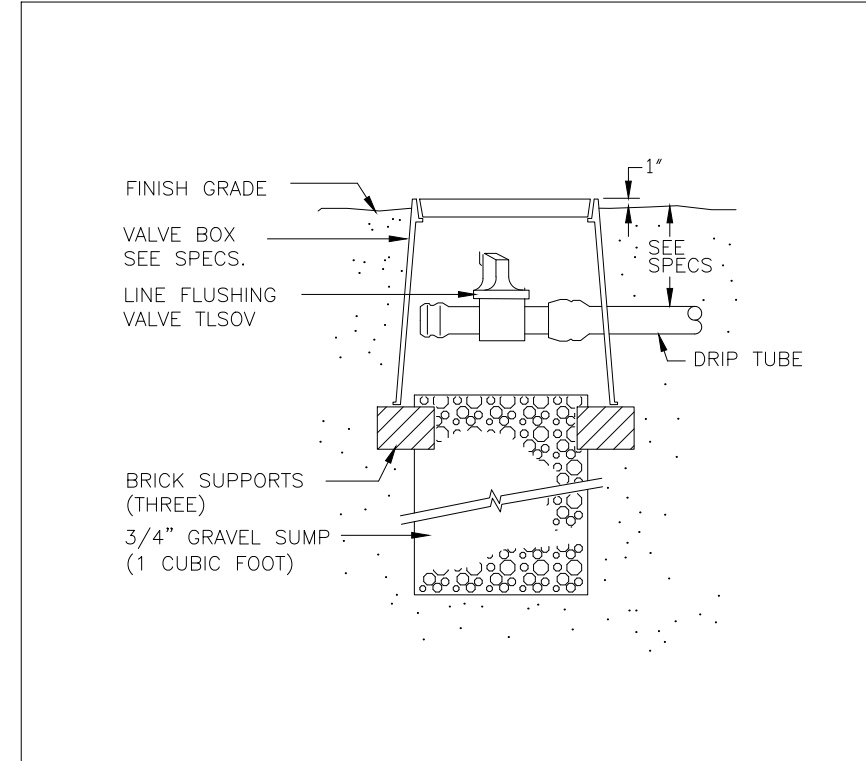
CONTROL ZONE KIT N.T.S.



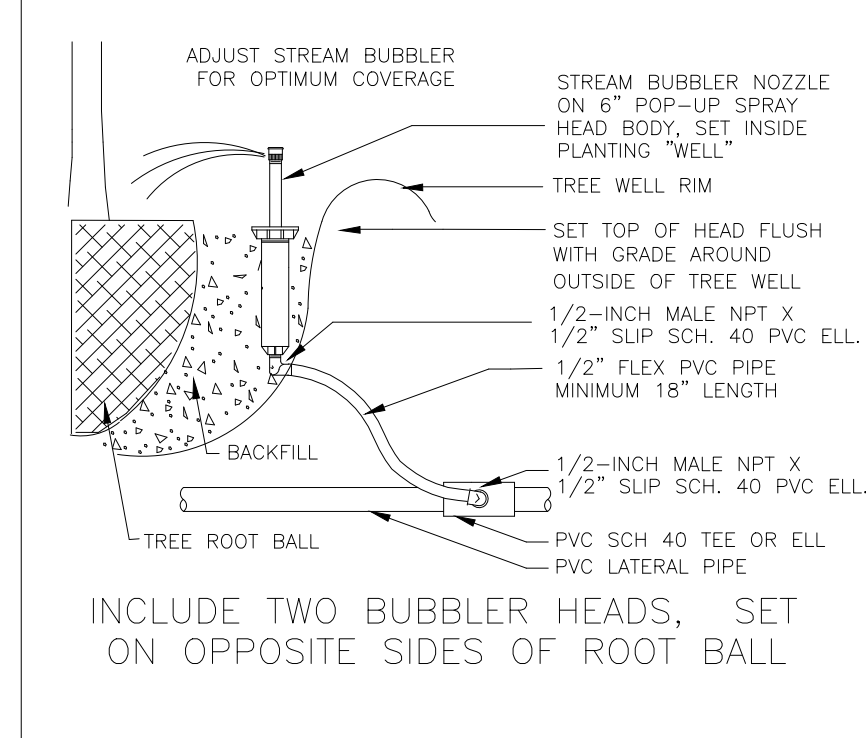
WALL MOUNT CONTROLLER N.T.S.



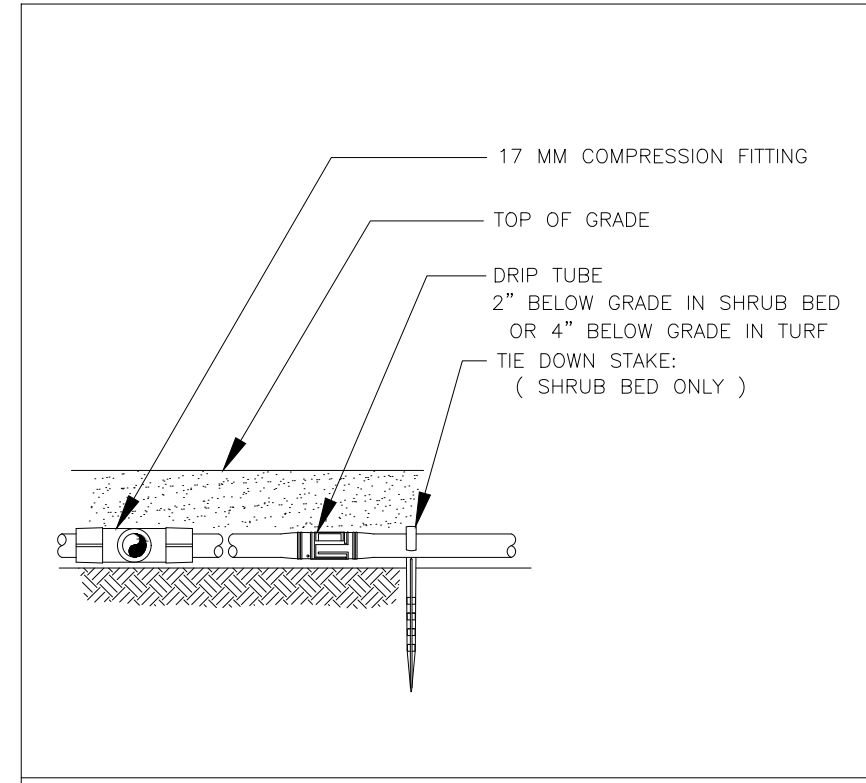
REMOTE CONTROL VALVE N.T.S.



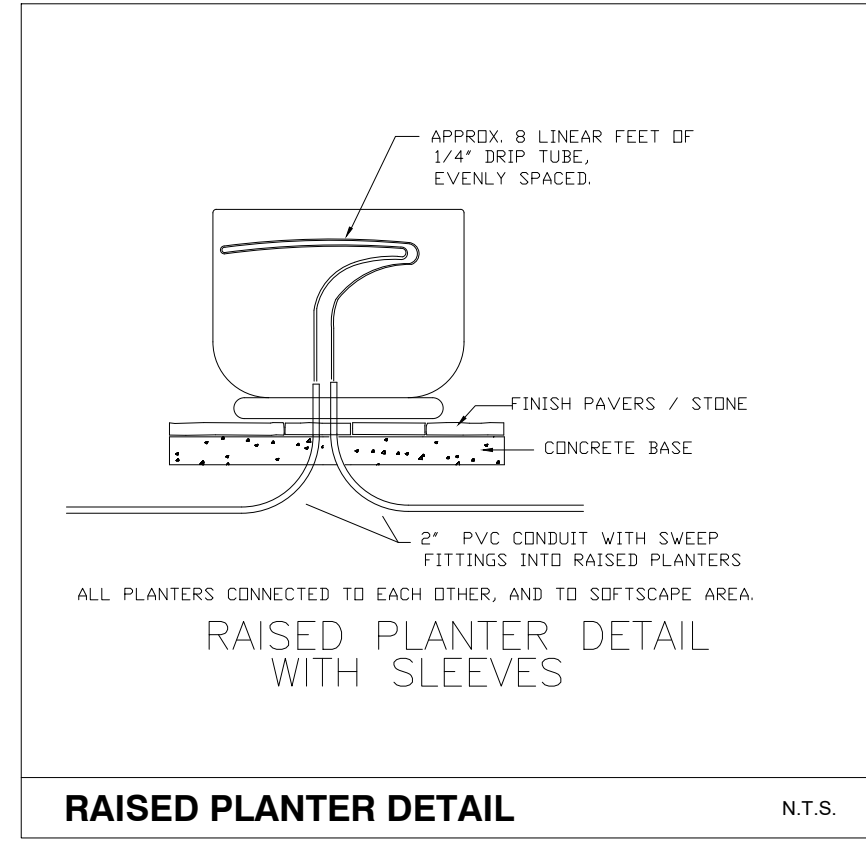
MANUAL LINE FLUSH VALVE N.T.S.



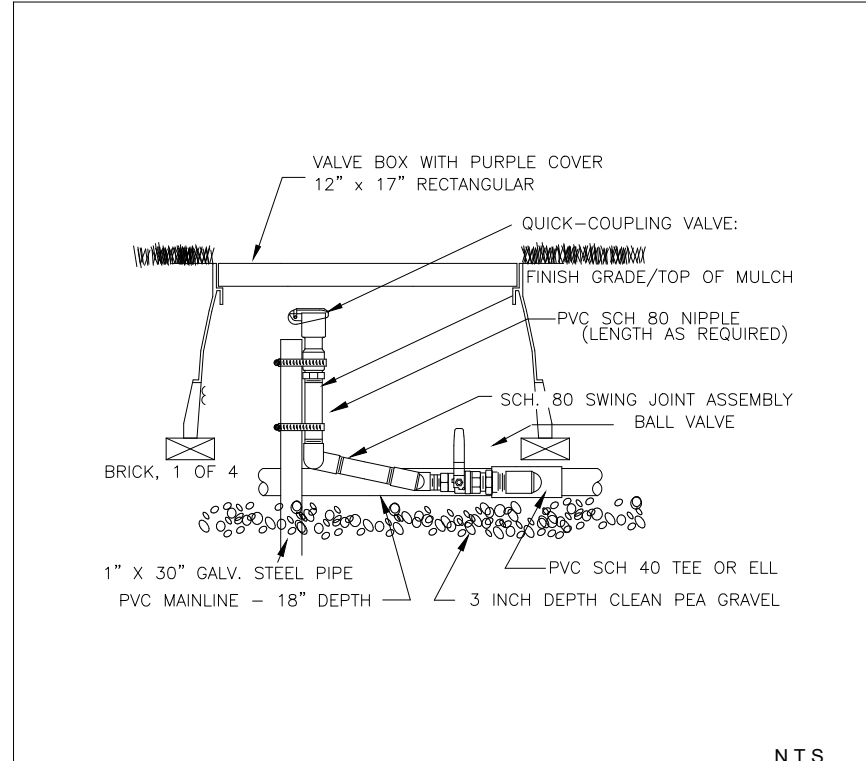
TREE BUBBLER N.T.S.



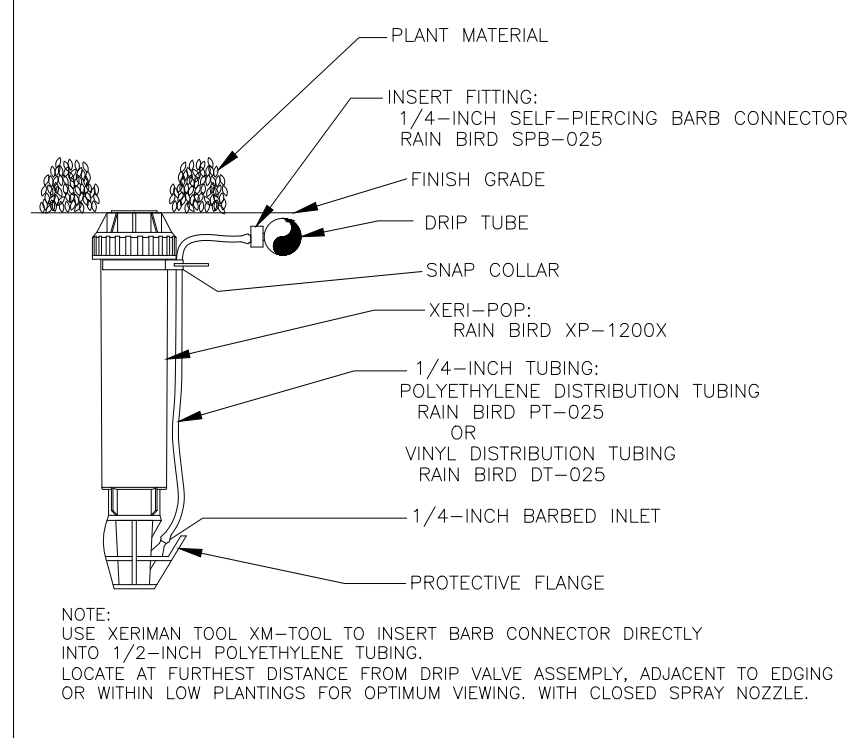
DRIP TUBE N.T.S.



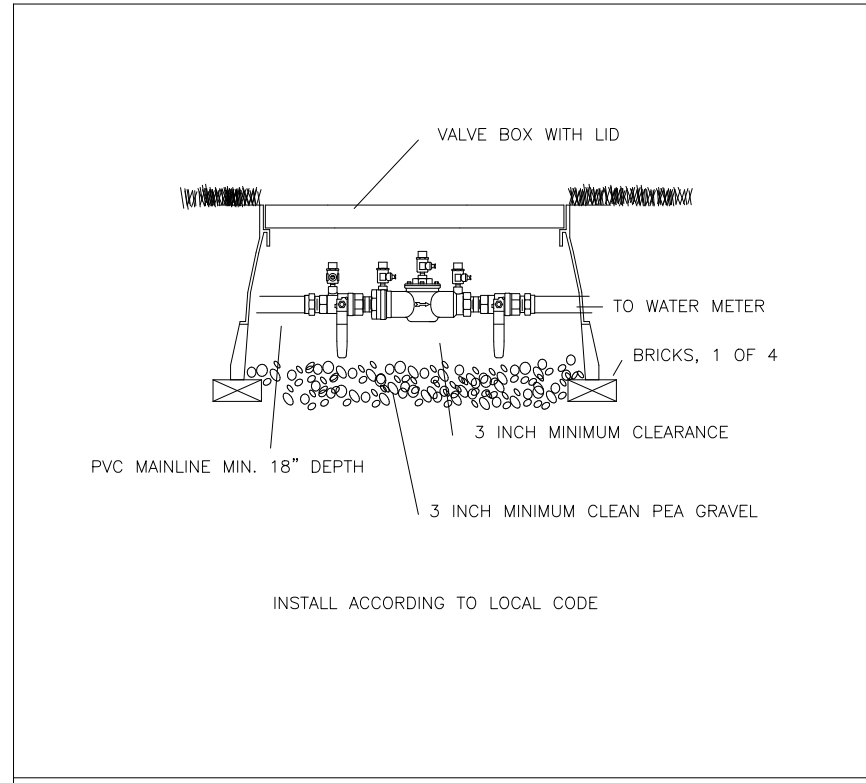
RAISED PLANTER DETAIL N.T.S.



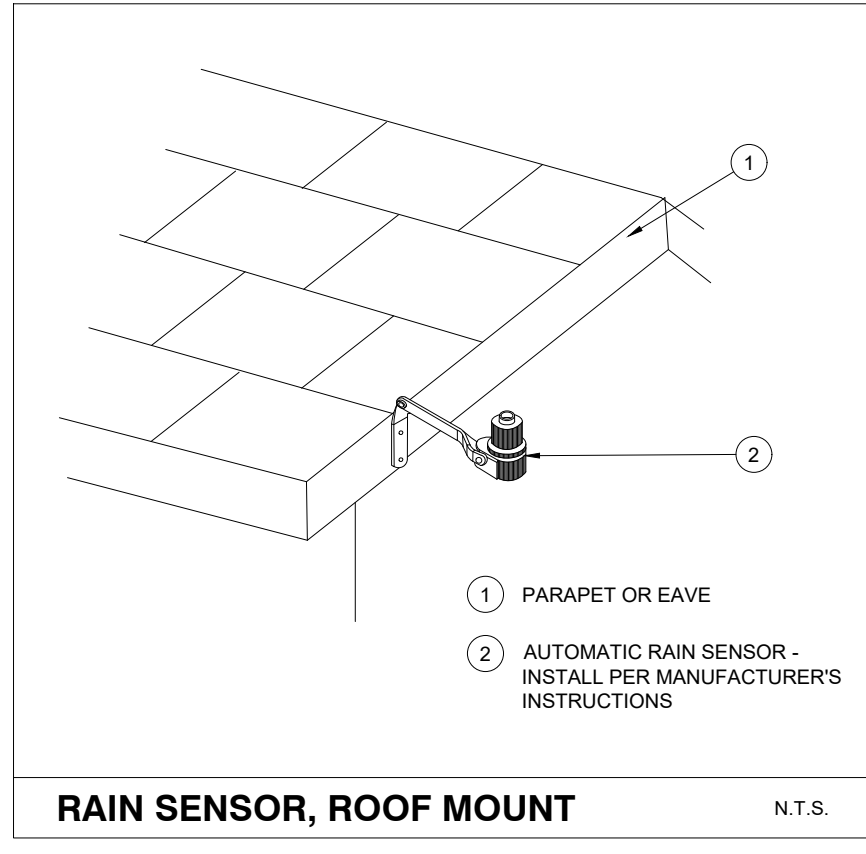
QUICK COUPLER VALVE WITH PVC BALL VALVE N.T.S.



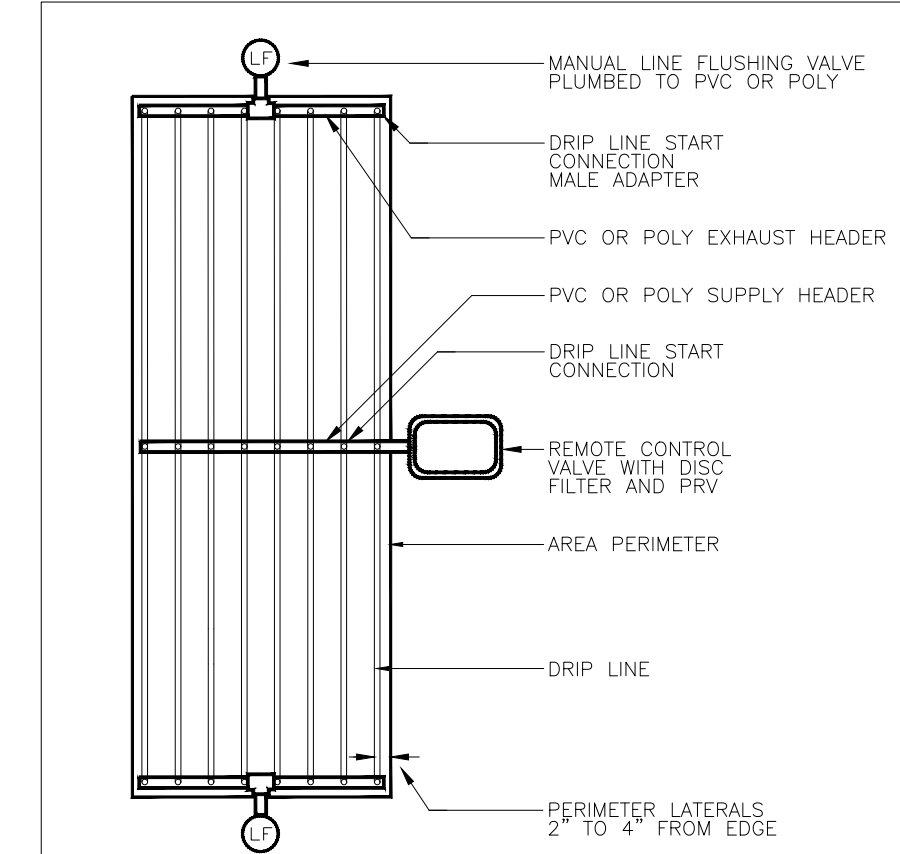
DRIP ZONE INDICATOR N.T.S.



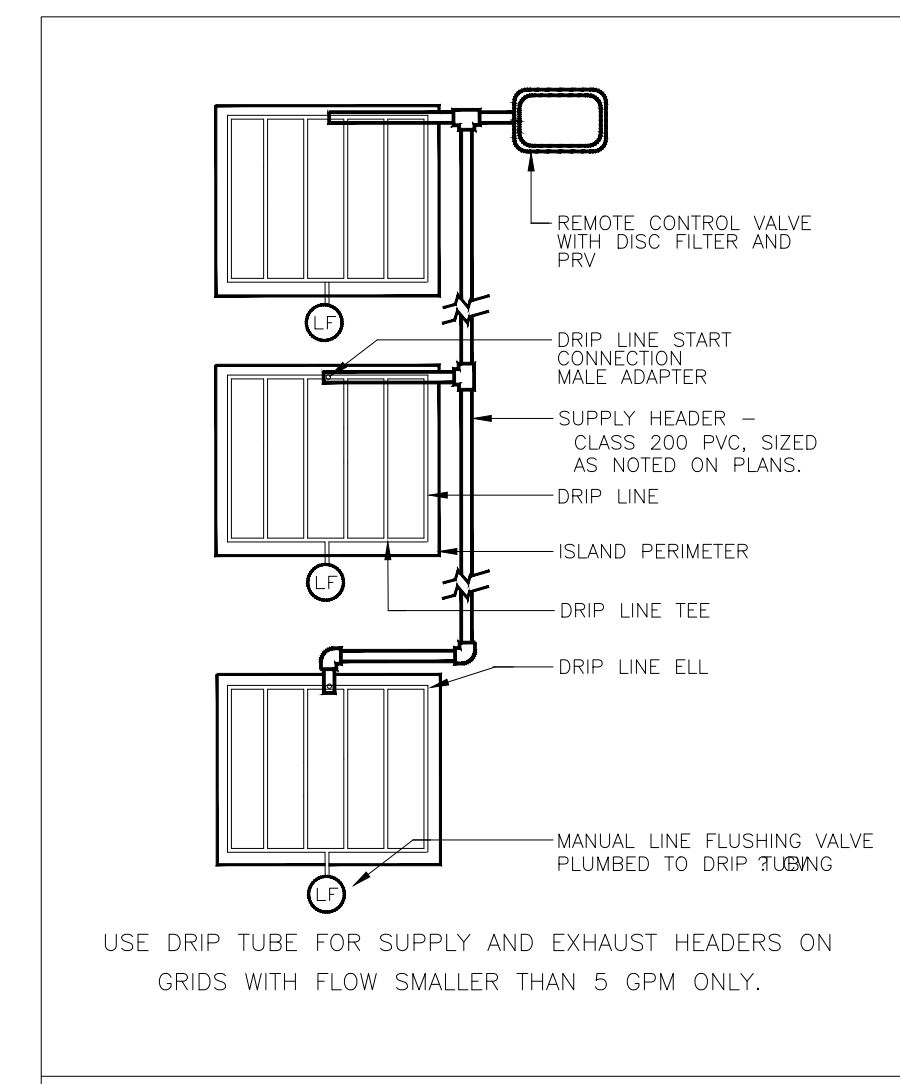
DOUBLE CHECK BACKFLOW N.T.S.



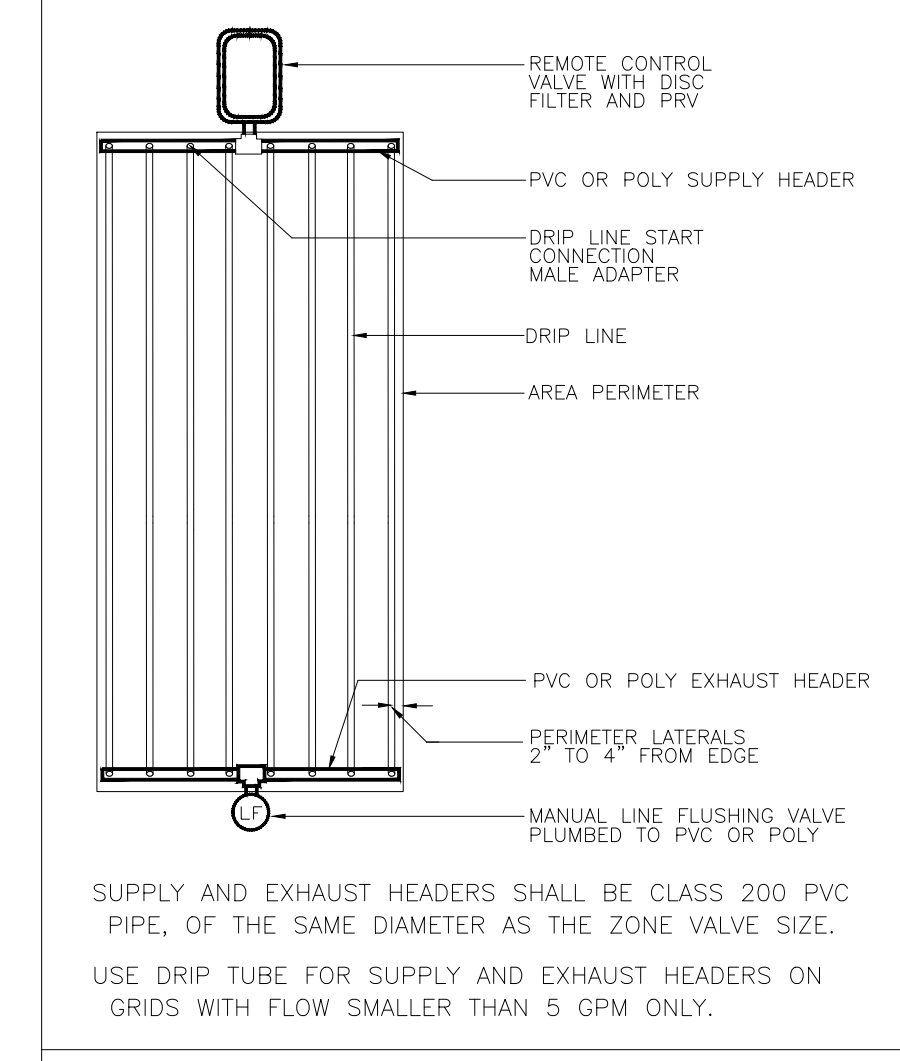
RAIN SENSOR, ROOF MOUNT N.T.S.



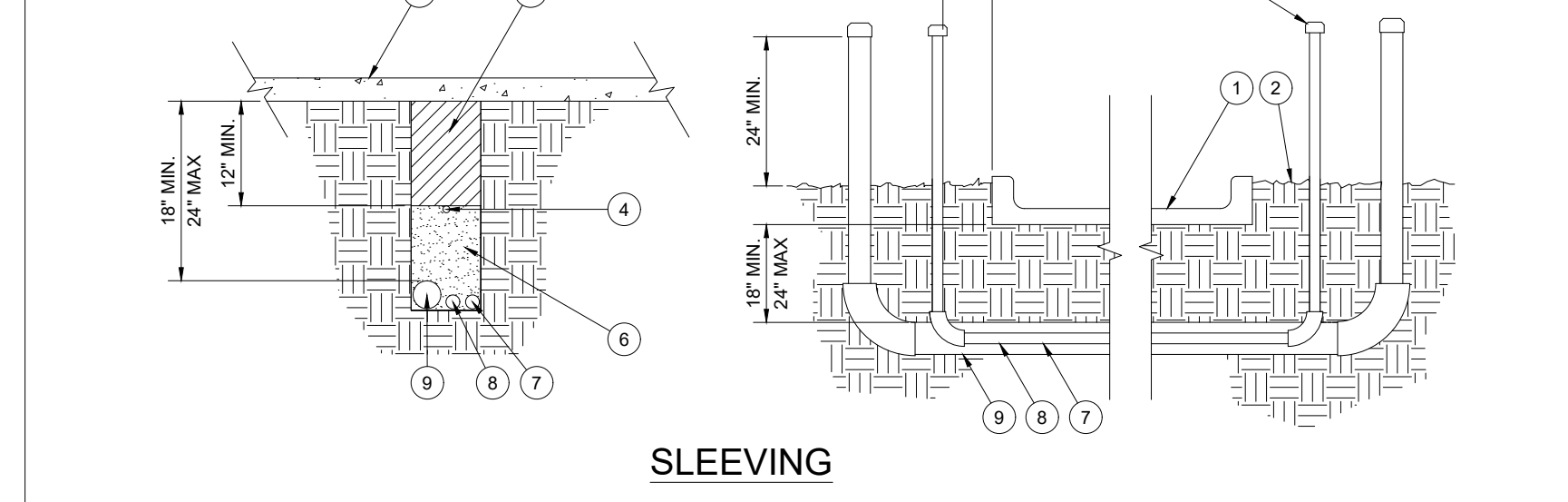
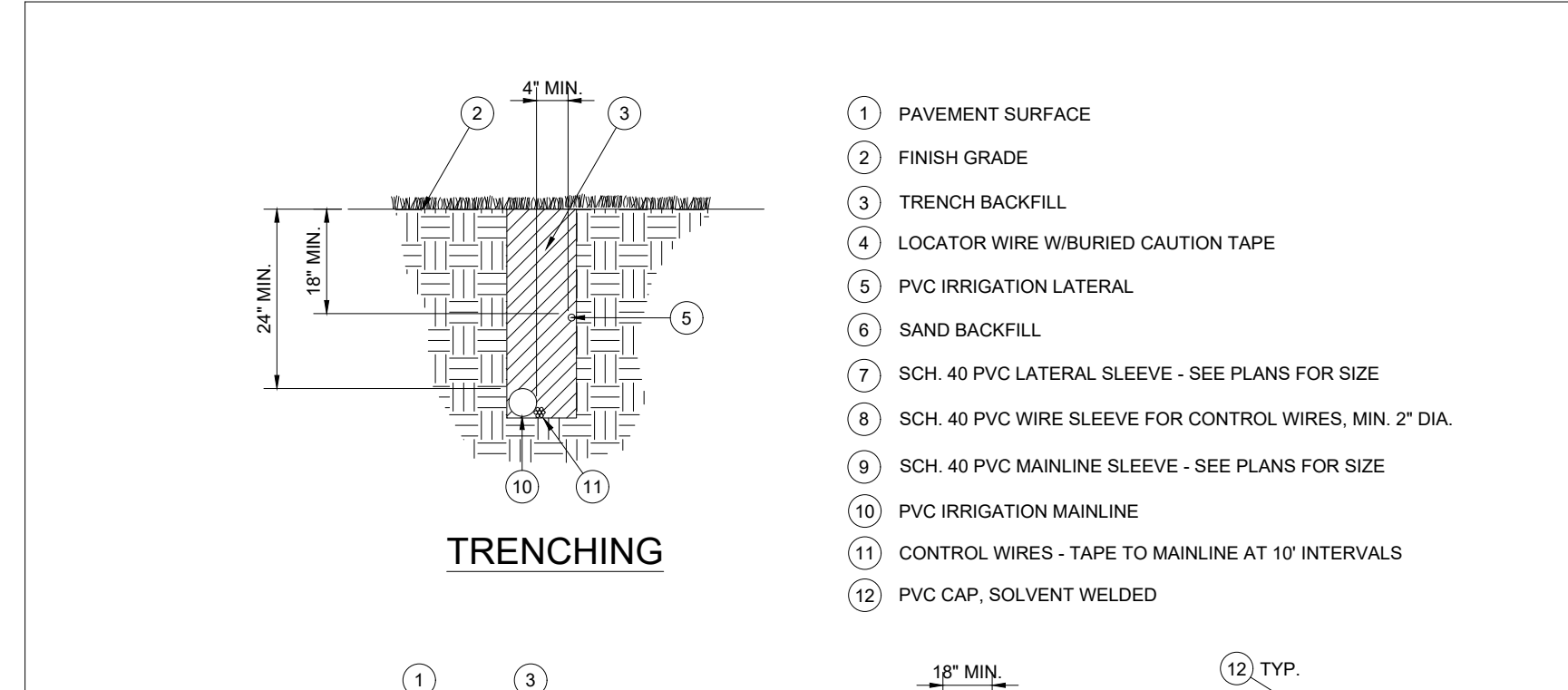
DRIP CENTER FEED LAYOUT N.T.S.
SUPPLY AND EXHAUST HEADERS SHALL BE CLASS 200 PVC PIPE, OF THE SAME DIAMETER AS THE ZONE VALVE SIZE. USE DRIP TUBE FOR SUPPLY AND EXHAUST HEADERS ON GRIDS WITH FLOW SMALLER THAN 5 GPM ONLY.



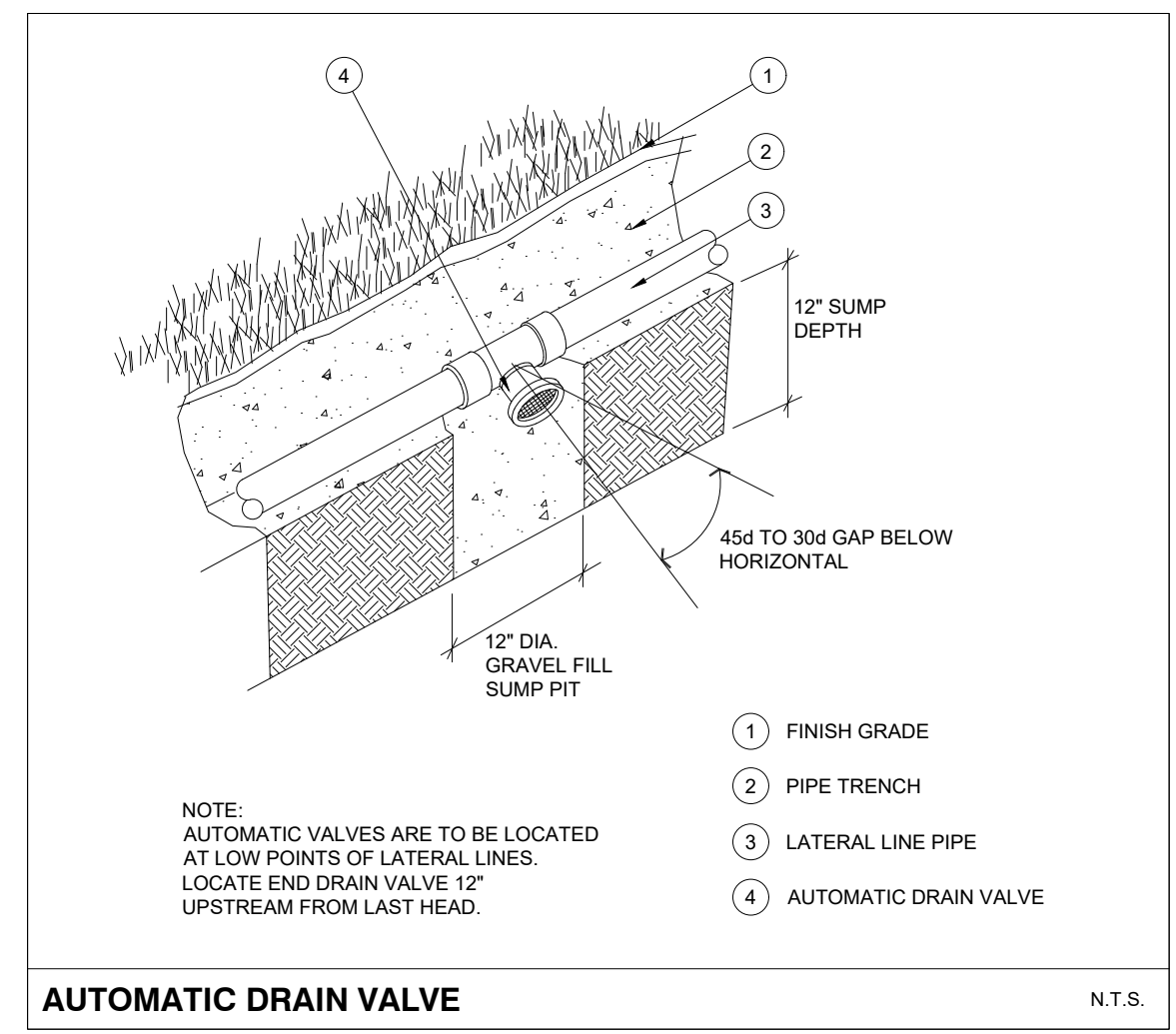
DRIP ISLAND LAYOUT N.T.S.
USE DRIP TUBE FOR SUPPLY AND EXHAUST HEADERS ON GRIDS WITH FLOW SMALLER THAN 5 GPM ONLY.



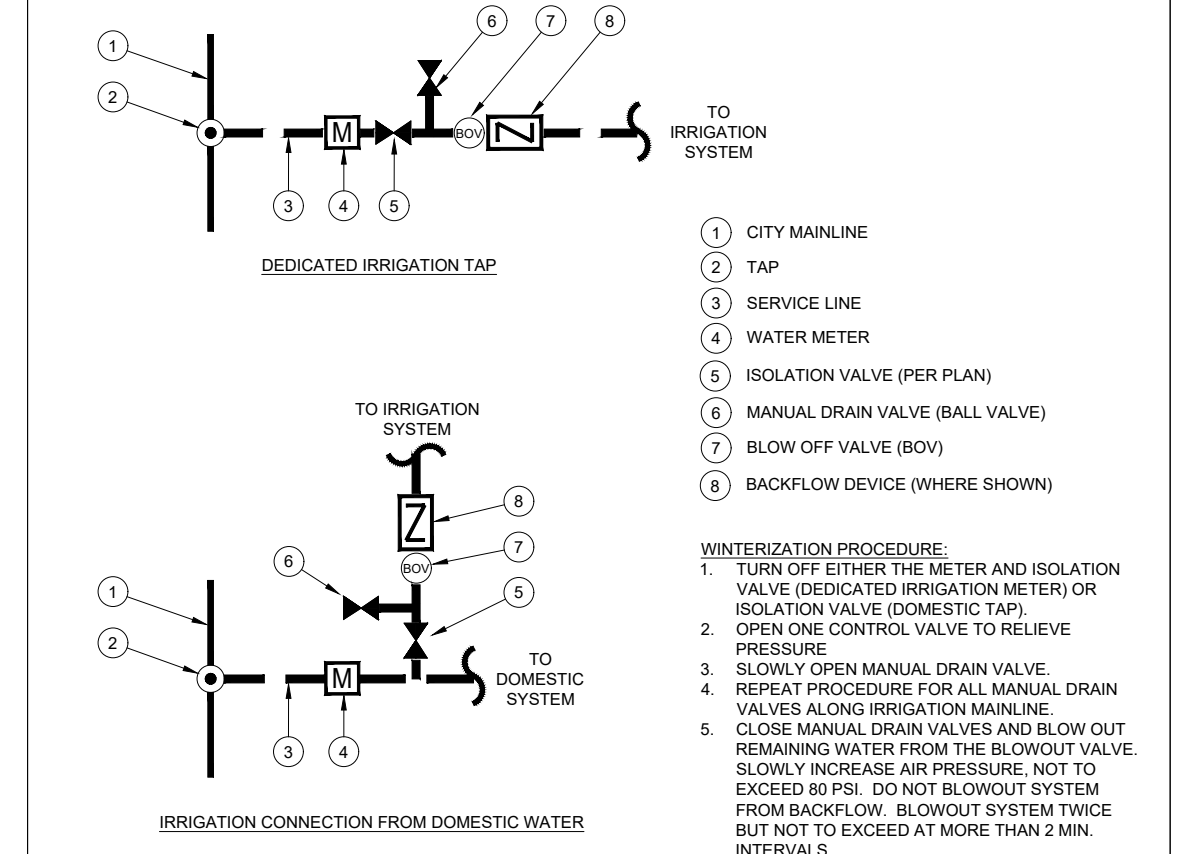
DRIP END FEED LAYOUT N.T.S.
SUPPLY AND EXHAUST HEADERS SHALL BE CLASS 200 PVC PIPE, OF THE SAME DIAMETER AS THE ZONE VALVE SIZE. USE DRIP TUBE FOR SUPPLY AND EXHAUST HEADERS ON GRIDS WITH FLOW SMALLER THAN 5 GPM ONLY.



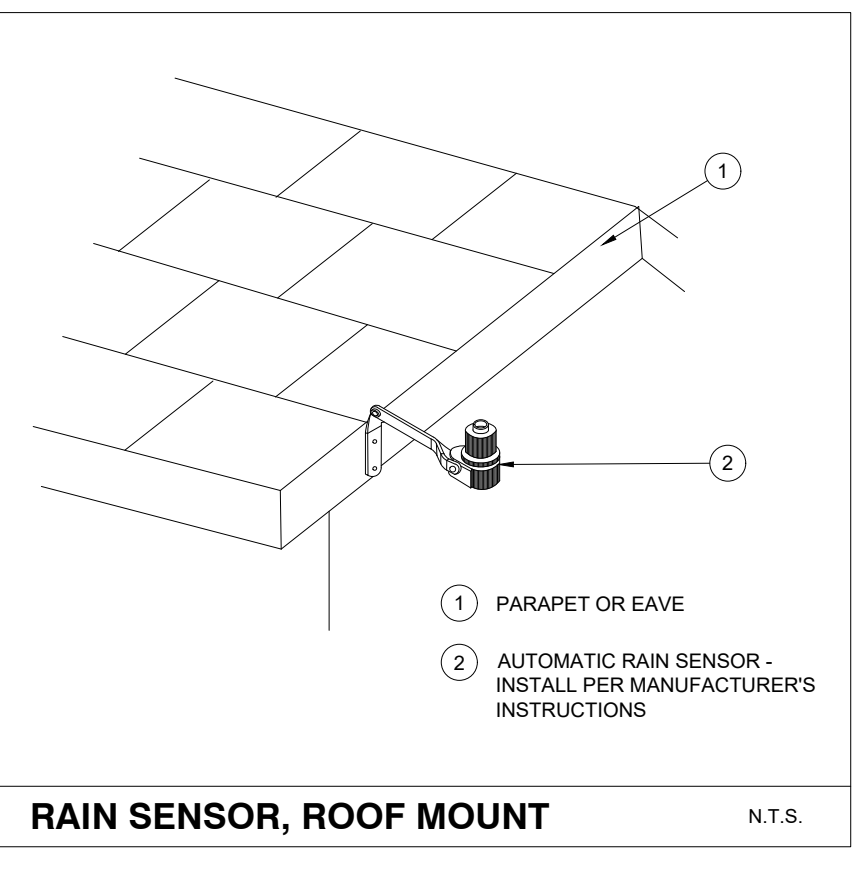
PIPE AND SLEEVE INSTALLATION N.T.S.



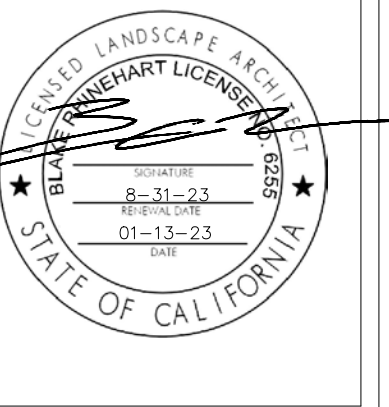
AUTOMATIC DRAIN VALVE N.T.S.



WATER TAP DIAGRAM N.T.S.



RAIN SENSOR, ROOF MOUNT N.T.S.



IRRIGATION SPECIFICATIONS

GENERAL

- A. QUALIFICATIONS OF IRRIGATION CONTRACTOR
1. ALL WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE IRRIGATION CONTRACTING FIRM SPECIALIZING IN IRRIGATION SYSTEMS...
2. THE IRRIGATION CONTRACTOR MUST HAVE ON ITS STAFF A LICENSED IRRIGATION INSTALLER, AS REGULATED BY THE APPROPRIATE LOCAL JURISDICTION...
3. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.

PRODUCTS

- A. ALL MATERIALS SHALL BE NEW AND WITHOUT FLAWS OR DEFECTS OF ANY TYPE AND SHALL BE THE BEST OF THEIR CLASS AND KIND...
B. BACKFLOW PREVENTION DEVICES SHALL BE OF THE SIZE AND TYPE INDICATED ON THE DRAWINGS...
C. PIPING
1. PRESSURE SUPPLY LINES, DOWNSTREAM OF THE POINT-OF-CONNECTION:
a. SCHEDULE 40 PVC FOR ALL PIPE 1-1/2" OR LESS
b. CLASS 315 PVC FOR ALL PIPE 2" TO 2-1/2"
c. CLASS 200 PVC GASKETED, FOR ALL PIPE 3" AND LARGER

METHODS

- A. THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, AND OTHER EQUIPMENT SHOWN WITHIN PAVED AREAS OR OUT OF PROPERTY BOUNDARIES ARE FOR DESIGN CLARIFICATION ONLY...
B. THE IRRIGATION CONTRACTOR SHALL MEET WITH THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF WORK...
C. THE IRRIGATION CONTRACTOR SHALL NOT WILLFULLY INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS, GRADES OR DIMENSIONS EXIST...
D. THE IRRIGATION CONTRACTOR SHALL PAY ANY AND ALL FEES AND PERMITS ASSOCIATED WITH THE INSTALLATION OF THE IRRIGATION SYSTEM.

I. BACKFILL

- 1. ALL BACKFILL MATERIAL SHALL BE SUBJECT TO APPROVAL BY THE OWNER. BACKFILL MATERIAL SHALL BE FREE FROM RUBBISH, ROCK LARGER THAN 1", LARGE STONES, BRUSH, SOIL, FROZEN MATERIAL, OR OTHER UNSUITABLE SUBSTANCES...
2. IN THE EVENT THAT THE MATERIAL FROM THE EXCAVATION OR TRENCHING IS FOUND TO BE UNSUITABLE FOR USE IN BACKFILL, IT SHALL BE REMOVED FROM THE SITE AND PROPERLY AND LEGALLY DISPOSED OF BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.

J. BACKFLOW PREVENTER INSTALLATION

- CONTRACTOR SHALL MAKE CONNECTIONS TO EXISTING WATER SOURCES IN LOCATION SHOWN ON PLANS AND AS APPROVED BY THE OWNER...
DETAILS, INSTALL A BRASS BALL VALVE IMMEDIATELY UPSTREAM OF THE BACKFLOW DEVICE TO SERVE AS AN ISOLATION VALVE.

K. PIPING

- 1. PIPE SIZE SHALL CONFORM TO THOSE SHOWN ON THE DRAWINGS. NO SUBSTITUTIONS OF SMALLER PIPE SIZES SHALL BE PERMITTED...
2. MAINLINE PIPE AND WIRES SHALL BE INSTALLED WITH A MINIMUM COVER OF 18 INCHES (24" FOR MAINLINE 3"-5" AND 30" FOR MAINLINE 6" AND GREATER).

L. VALVES

- 1. VALVES SHALL BE INSTALLED PER MANUFACTURER'S DIRECTIONS AND THE IRRIGATION DETAILS.
2. VALVE BOXES SHALL BE INSTALLED FLUSH WITH THE GRADE, WITH CLEAN PEA GRAVEL LOCATED BELOW THE VALVE AS NOTED ON THE DETAILS.

M. DRIP IRRIGATION EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S DIRECTIONS AND THE IRRIGATION DETAILS.

- 1. ALL SPRAY AND ROTOR HEAD LOCATIONS SHALL BE STAKED, FLAGGED AND/OR OTHERWISE CLEARLY MARKED ON THE GROUND PRIOR TO INSTALLATION...
2. ALL SPRAY HEADS SHALL BE CONNECTED WITH A 1/2 INCH MINIMUM LENGTH OF 1/2 INCH FLEX PVC...
3. ALL VALVE CONTROL WIRES SHALL BE AWG #14 TYPE UF, 600 VOLT TEST, DIRECT BURIAL.

O. AUTOMATIC CONTROLLER

- 1. INSTALL THE CONTROLLER AT THE LOCATION INDICATED BY THE OWNER. INSTALL CONTROLLER WITH A BACKUP BATTERY AS RECOMMENDED BY THE MANUFACTURER...
2. THE IRRIGATION CONTRACTOR SHALL COORDINATE 120 V.A.C. ELECTRICAL POWER TO CONTROLLER AND DEDICATE ONE (1) 20-AMP BREAKER FOR EACH CONTROLLER...
3. ALL VALVE CONTROL WIRES SHALL BE AWG #14 TYPE UF, 600 VOLT TEST, DIRECT BURIAL.

ZONE PRESSURE LOSS CHART

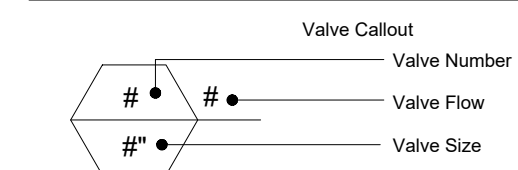
Table with columns: ZONE #, ZONE GPM, ZONE TYPE, PSI LOSS AT WATER METER, PSI LOSS AT BACKFLOW, PSI LOSS AT MASTER VALVE, PSI LOSS AT MAINLINE, PSI LOSS AT ZONE VALVE, PSI LOSS AT LATERAL PIPE, PSI LOSS AT HEAD / NOZZLE, TOTAL PSI REQUIRED, RESIDUAL PSI.

IRRIGATION LEGEND

Table mapping symbols to descriptions: 8 LINEAR FEET OF RAINBIRD 1/4" DRIP TUBE PLACED IN AN EVENLY SPACED SPIRAL AT 2' x 2' PLANTER; PIPE TRANSITION POINT ABOVE GRADE; RAINBIRD 1806-SAM-PRS SERIES POP UP SPRAY HEADS; LASCO "V101N" SERIES SCH. 80 PVC TRUE UNION BALL VALVE.

NOTE: I.L.C. SHALL SELECT R-VAN SPRAY NOZZLES FOR "HEAD-TO-HEAD" COVERAGE, ADJUSTED FOR NO OVERSpray ONTO WALLS AND WALKS. ** ALL PIPE TO BE SIZED SUCH THAT FLOWS WILL NOT EXCEED VELOCITY OF 5 FPS **

VALVE KEY



CRITICAL ANALYSIS #10

- 1. LOSS AT 1" WATER METER FOR 12 GPM: 0.9 PSI
2. LOSS AT 1" BACKFLOW PREVENTOR 11.0 PSI
3. LOSS AT 1 1/2" MAINLINE LOOP .56 PSI
4. LOSS AT 1" ELECTRIC VALVE 3.0 PSI
5. LOSS AT SECTION LATERAL PVC PIPE 2.5 PSI
6. LOSS AT MASTER VALVE 2.0 PSI
7. LOSS AT DRIP 30 PSI
TOTAL PRESSURE LOSS 49.96 PSI
MINIMUM STATIC PRESSURE SHALL BE 55 P.S.I. AT THE P.O.C.

Owner

GROCERY OUTLET
PLEASANT GROVE BLVD.
ROSEVILLE, CA

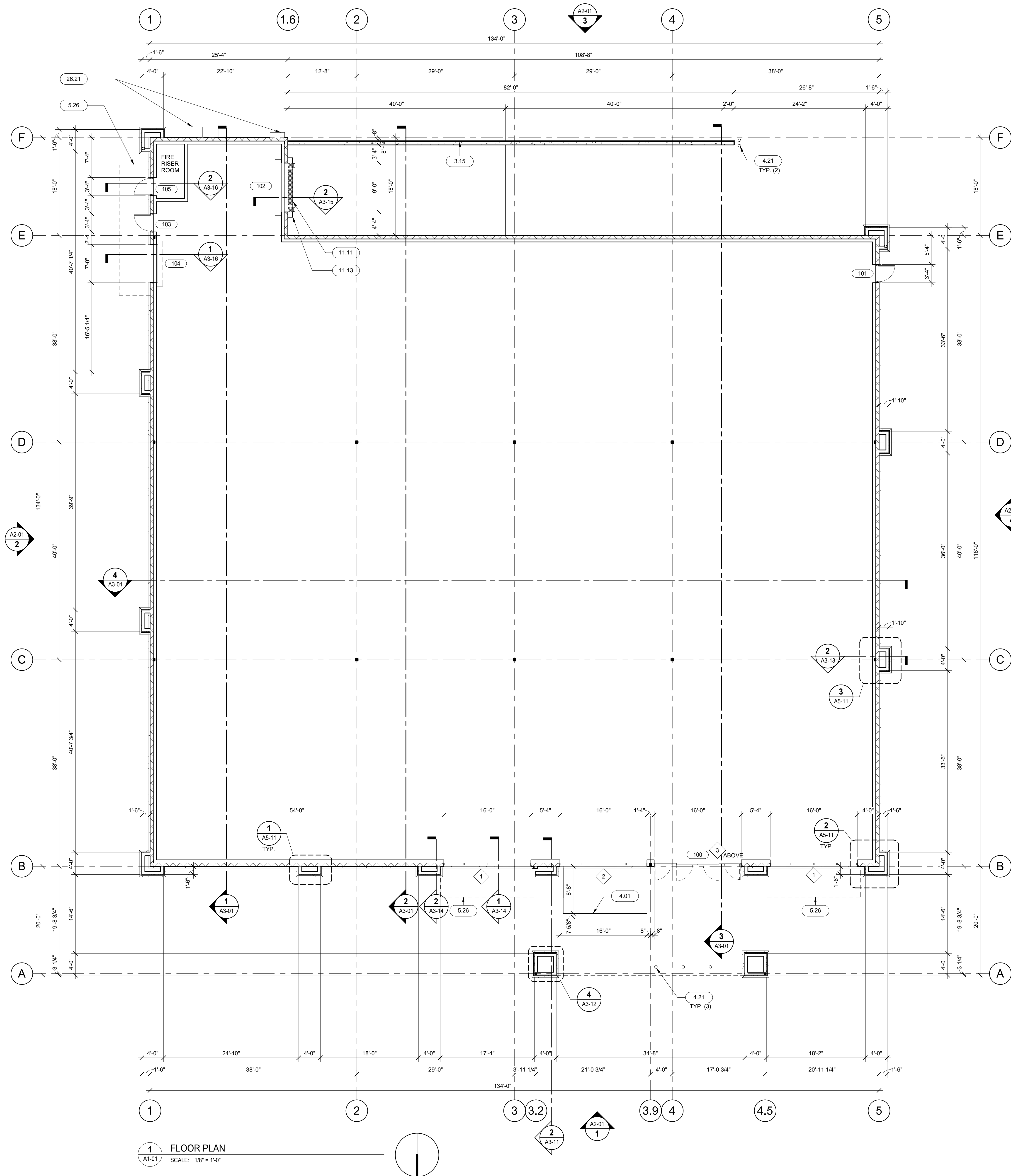
IRRIGATION DETAILS & SPECS

Table with columns: Date, Comment. Includes entries for 10/23 ENTITLEMENT CYCLE 2, Project Number, Date 01-13-23, Drawn By BR, Checked By BR/RM.

LI-3

CALIFORNIA WATER EFFICIENT LANDSCAPE WORKSHEET

Worksheet with columns: REFERENCE EVAPOTRANSPIRATION (ETp), PROJECT TYPE, HYDROZONE #, PLANTING DESCRIPTION, PLANT FACTOR, IRRIGATION METHOD, EFFICIENT, ETAF, LANDSCAPE AREA (SQ. AREA), ETAF x ESTIMATED TOTAL WATER USE (ETWU) #, ETAF CALCULATIONS.



1 FLOOR PLAN
 SCALE: 1/8" = 1'-0"

FLOOR PLAN NOTES		
1.	REFER TO SHEET A6-01 FOR DOOR AND WINDOW SCHEDULES.	
2.	PROVIDE INSULATION AT INTERIOR WALLS AS NOTED ON WALL LEGEND/TYPES.	
3.	DIMENSIONS FOR EXTERIOR FRAMING ARE TO FACE OF PLYWOOD AND/OR FACE OF MASONRY AS APPLIES (U.N.D)	
4.	PROVIDE INTERNATIONAL SYMBOL ACCESSIBILITY (ISA) DECAL AT MAIN ENTRANCE DOORS (UNDER SHELL WORK).	
5.	PROVIDE TACTILE EXIT SIGNS AT ALL GRADE LEVEL EXIT DOORS. SIGN TO READ "EXIT" - SEE DETAILS	
6.	PROVIDE FIRE DEPARTMENT KEY KNOX BOX. G.G. SHALL COORDINATE EXACT LOCATION AND MOUNTING HEIGHT WITH LOCAL FIRE MARSHAL.	
7.	SEAL ALL PENETRATIONS AT EXTERIOR WALLS AS REQUIRED.	
8.	HOLD ALL UTILITIES TIGHT TO ROOF FRAMING, PERIMETER WALLS OR CEILING UNLESS NOTED OTHERWISE.	
9.	ILLUMINATED BUILDING IDENTIFICATION (ADDRESS) TO BE PROVIDED UNDER SHELL WORK PER LOCATION(S) SHOWN ON EXTERIOR ELEVATIONS. MUST BE SPECIFICALLY REVIEWED AND APPROVED WITH PLANNING / BUILDING / FIRE DEPARTMENT FOR FINAL LOCATION AND/OR TYPE DURING PROJECT SUBMITTALS.	

KEYNOTES		
3.15	TRUCK DOCK CONCRETE RETAINING WALL - PAINT PER SCHEDULE	
4.01	4'-0" HIGH 8" CMU WALL FOR FUTURE EXTERIOR CART CORRAL - PAINT PER SCHEDULE	
4.21	CONCRETE FILLED PIPE BOLLARD - PAINT SAFETY YELLOW	
5.26	LINE OF EXISTING CANOPY ABOVE	
11.11	TRUCK DOCK BUMPERS AND EDGE OF DOCK LEVELER. REFER TO LOADING DOCK EQUIPMENT SCHEDULE ON SHEET A6-01	
11.13	DOCK SEAL. REFER TO LOADING DOCK EQUIPMENT SCHEDULE ON SHEET A6-01	
26.21	ELECTRICAL PANELS. REFER TO ELECTRICAL.	

DATE	ISSUED FOR	REV
2022.11.29	50% REVIEW	
2022.12.16	90% REVIEW	
2023.01.13	ENTITLEMENT CYCLE 2	
2023.02.10	ENTITLEMENT CYCLE 3	

This drawing has been prepared solely for the use of Peter Bollinger Investment and there are no representations of any kind made by NORR to any party with whom NORR has not entered into a contract.

This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.

Project Component
BUILDING SHELL


CLIENT

INTER-CAL REAL ESTATE CORPORATION



Consultants	
Survey:	N/A
Civil:	MORTON & PITALO, INC.
Architecture:	NORR
Structural:	VLMK
Mechanical:	COOLSYS
Electrical:	COOLSYS
Interiors:	N/A
Landscape:	

Seal(s)



150 W. Jefferson Avenue, Suite 1300
 Detroit, MI, US 48226
 norr.com

Project Manager D. GAROFALO	Drawn D. WILSON
Project Leader R. AVILA	Checked M. VON WERDER

Client
Peter Bollinger Investment

Project
West Roseville Retail Centers

1751 Pleasant Grove Blvd.
 West Roseville CA 95747

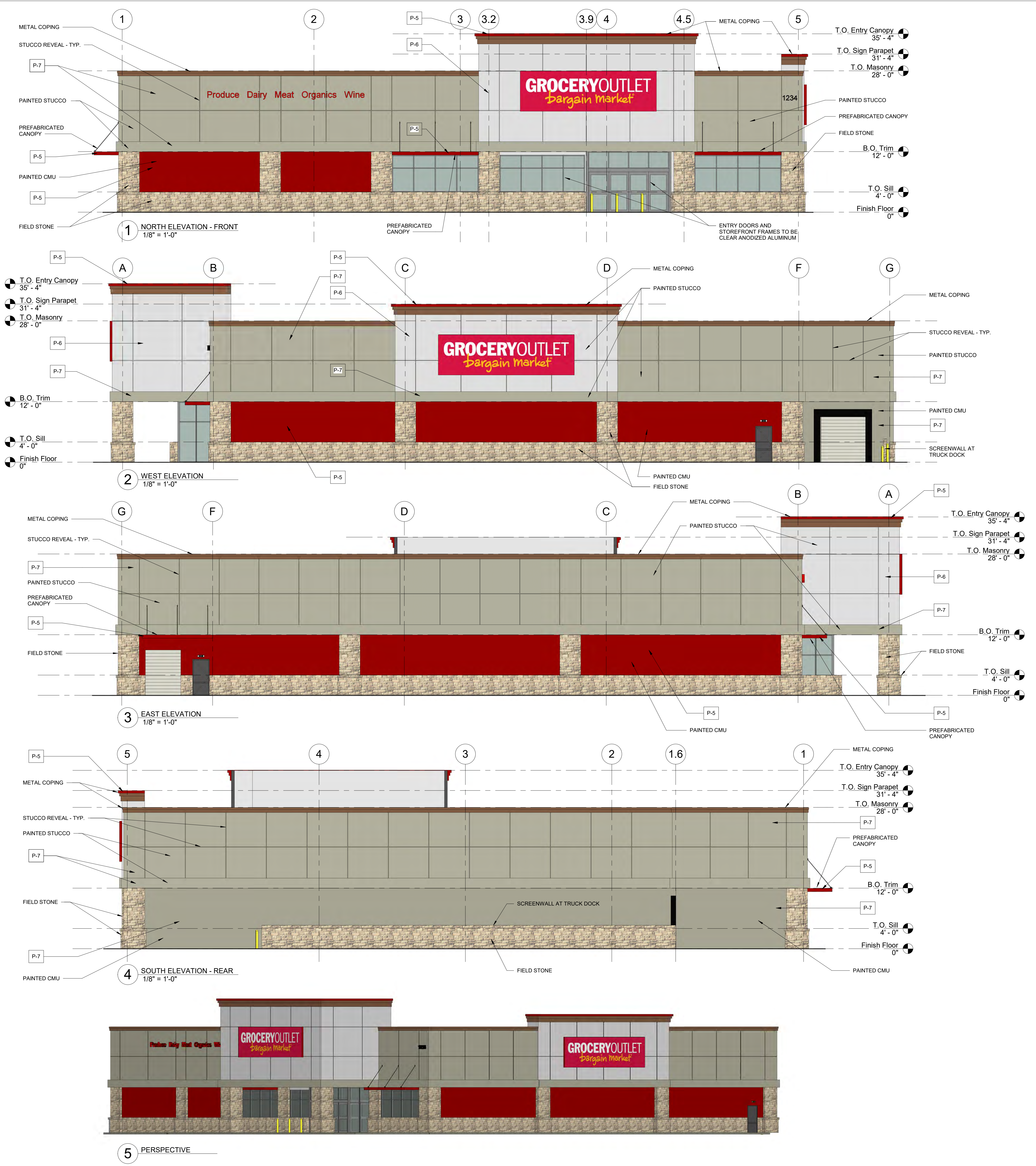
Drawing Title
FLOOR PLAN

Scale	As indicated
Project No.	JCDT21-0477
Drawing No.	A1-01

10/21/2022 14:48:00

DATE	ISSUED FOR	REV
06/10/2022	DRP SUBMITTAL	
10/21/2022	REVIEW RESPONSE	

PRELIMINARY - NOT FOR CONSTRUCTION



This drawing has been prepared solely for the use of the Owner and there are no representations of any kind made by NORR to any party with whom NORR has not entered into a contract.

This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.

Project Component
Key Plan
Consultants Civil: Landscape: Architecture: Structural: Mechanical: Electrical:
Seal(s)

NORR

150 W. Jefferson Avenue, Suite 1300
Detroit, MI 48226
norr.com

Project Manager D. GARFALDO	BM Lead
Design Lead	Drawn
Project Leader R. AVILA	Checked Checker

Owner

Project

Enter address here

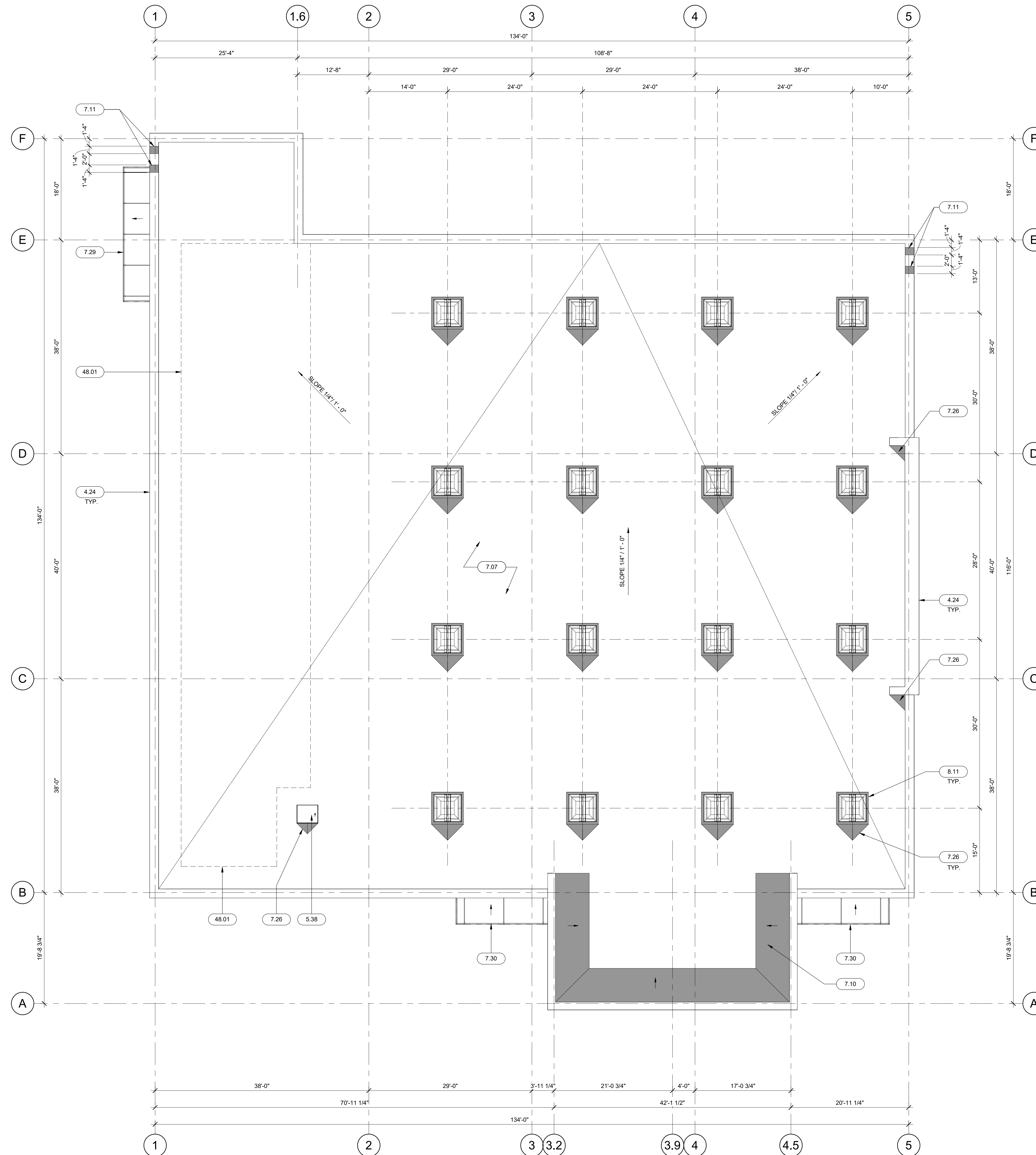
Drawing Title
COLOR ELEVATIONS

Scale	1/8" = 1'-0"
Project No.	JCDT21-0477
Drawing No.	F002

EXTERIOR PAINT SCHEDULE	
MARK	PAINT NAME
P-5	HERITAGE RED, BENJAMIN MOORE #PM-18
P-6	SHORELINE, BENJAMIN MOORE #1471
P-7	GRAYSTONE, BENJAMIN MOORE #1475

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1 ROOF PLAN
A1-31 SCALE: 1/8" = 1'-0"

ROOF PLAN NOTES

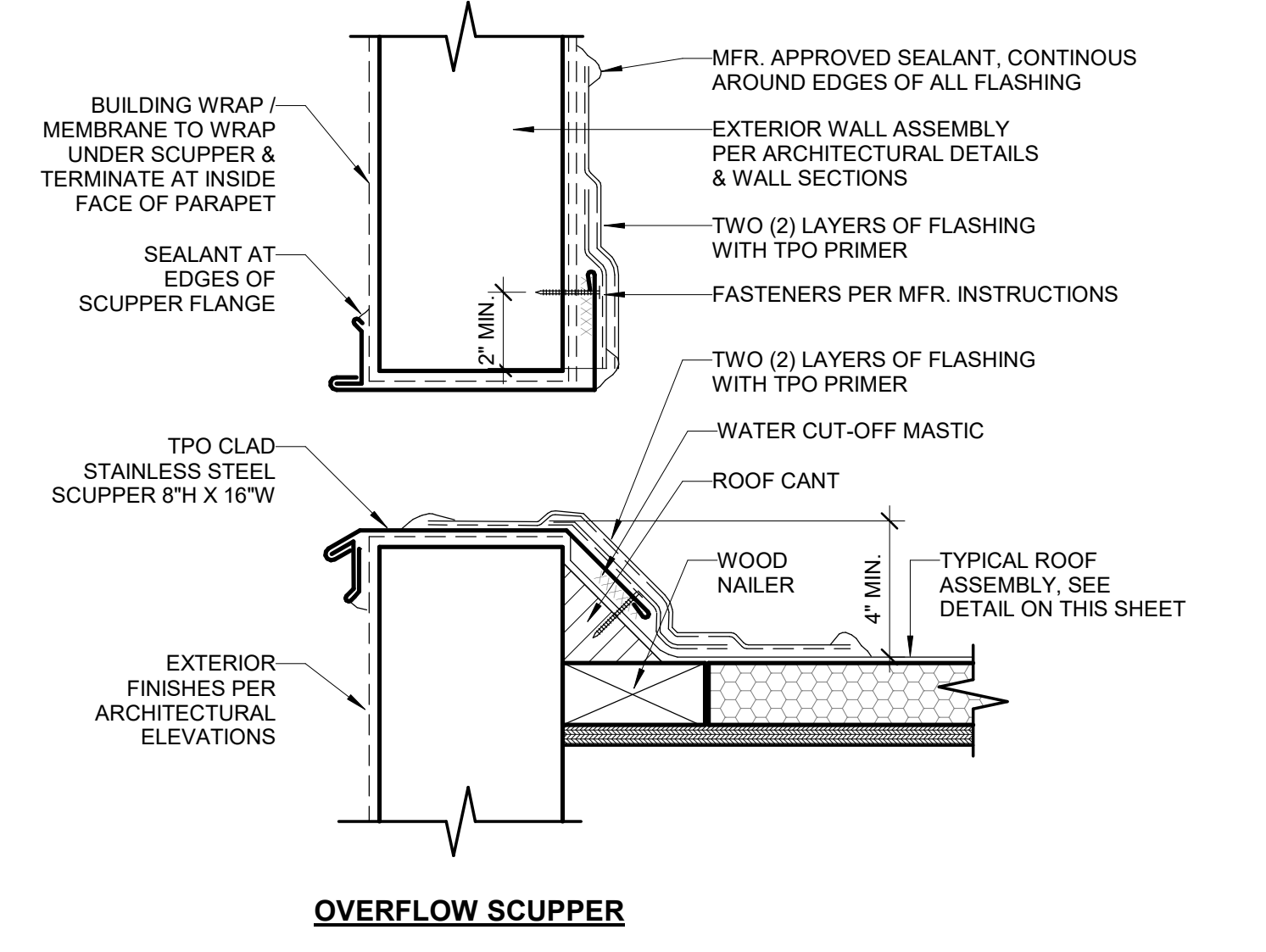
1. ANY/ALL OPENINGS AT ROOF LARGER THAN 8"x8" SHALL BE PROTECTED WITH BURGLAR BARS PROVIDED AND INSTALLED BY GENERAL CONTRACTOR. THE SPACING OF BARS SHALL NOT EXCEED 5" O.C.
2. ALL PENETRATIONS THROUGH ROOFING SHALL BE WEATHERTIGHT. CONTRACTOR SHALL BE RESPONSIBLE TO REVIEW WITH ROOFING INSTALLER AND ROOFING MANUFACTURER PRIOR TO ANY REQUIRED OVERCUTS OR LAPS REQUIRED TO PROVIDE WEATHERTIGHT AND WARRANTED SYSTEM. PROVIDE STANDARD ROOFING MANUFACTURER BOOTS AND FLASHING FOR PENETRATIONS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A CERTIFICATE STATING THE ANY/ALL ROOF INSTALLATION HAS BEEN APPLIED PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
4. ALL NEW ROOFING MATERIAL MUST COMPLY WITH ENERGY CODE.
5. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SUBMITTALS & SHOP DRAWINGS AND ALL NECESSARY COORDINATION WITH THE ROOFING CONTRACTOR FOR THE ROOF ASSEMBLY.
6. THE GENERAL COORDINATION SHALL BE INFORMED PRIOR TO ANY INSTALLATION OF REQUIRED BLOCKING BELOW ROOF SHEATHING AS WELL AS ALL ROOF INSULATION & MEMBRANE COMPONENTS TO BE INSTALLED BY THE CONTRACTOR'S ROOFING SUB. CONTRACTOR SHALL PROVIDE AND INSTALL ALL NECESSARY ATTACHMENTS, PENETRATION SEALANTS, ETC. AS NEEDED FOR COMPLETION OF WORK.
7. ALL ROOF MOUNTED MECHANICAL/REFRIGERATION EQUIPMENT, ROOF MOUNTED CURBS, PLUMBING PIPING, STACK PENETRATIONS, EXHAUST/MAKE-UP AIR VENT, ETC. TO BE BY TENANT IN FUTURE TENANT IMPROVEMENT PACKAGE.

KEYNOTES

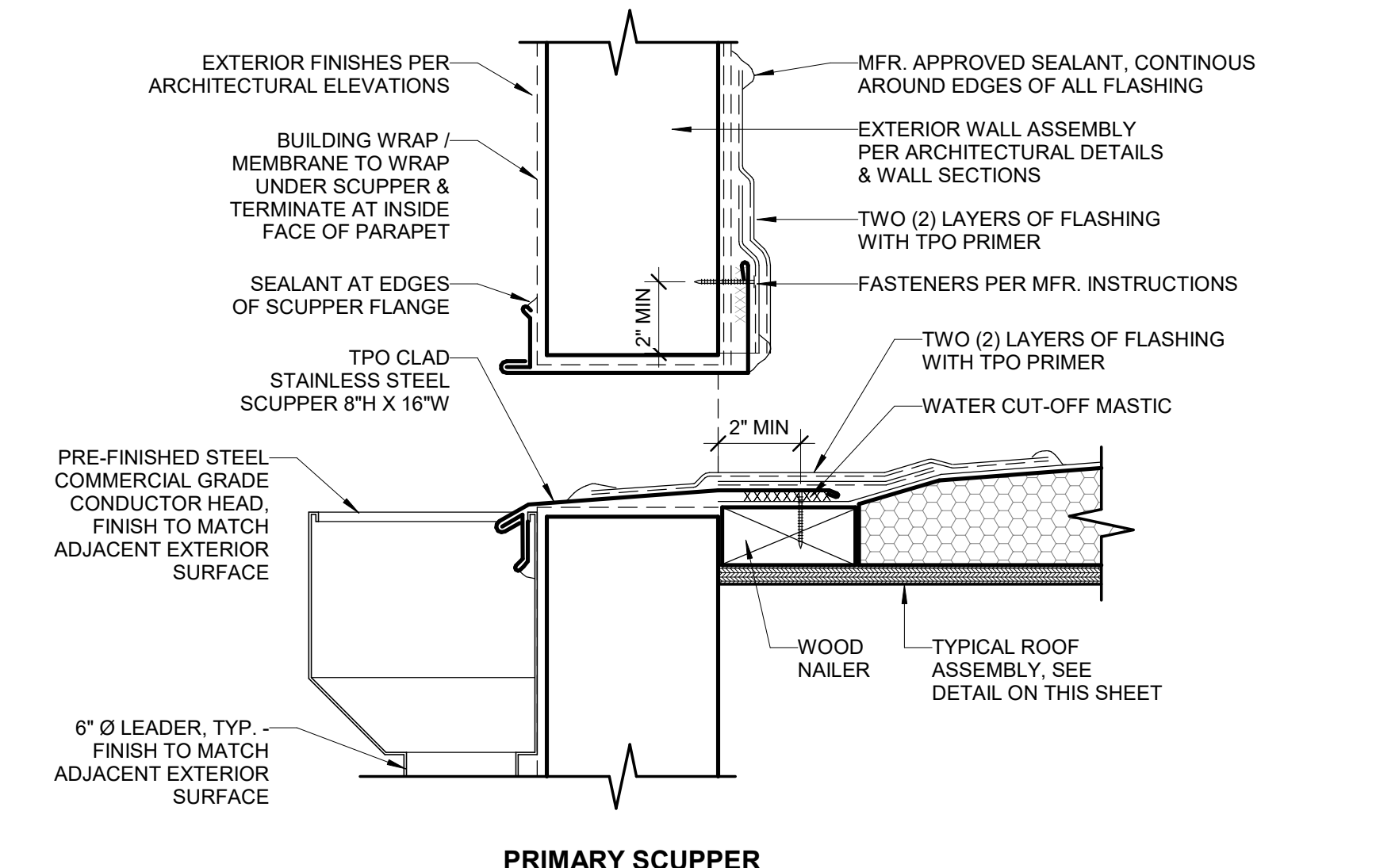
- 4.24 METAL PARAPET COPING/ FLASHING - PAINT PER SCHEDULE
- 5.38 ROOF HATCH PER SPECIFICATIONS - ACCESS LADDER BY TENANT
- 7.07 SINGLE-PLY ROOFING MEMBRANE SYSTEM OVER R-30 MIN. RIGID INSULATION OVER PLYWOOD DECKING. REFER TO STRUCTURAL FOR PLYWOOD DECKING. MINIMUM TYPE C ROOF FIRE CLASSIFICATION.
- 7.10 PARAPET BRACING - REFER TO STRUCTURAL
- 7.11 ROOF SCUPPERS WITH EXTERIOR LEADER. SEE DETAIL ON THIS SHEET FOR MORE INFORMATION. OVERFLOW SCUPPER TO BE LOCATED 2'-0" AWAY FROM PRIMARY SCUPPER, MIN. 4" ABOVE ROOF LEVEL.
- 7.26 PROVIDE TAPERED ROOF INSULATION AS INDICATED WITH FINISH SLOPE OF 1/4" PER 12"
- 7.29 CANOPY - ROOF TO SPLASH TO GRADE
- 7.30 CANOPY - CONNECT DOWNSPOUT TO STORM
- 8.11 5'-0"x5'-0" SKYLIGHT WITH BURGLAR BARS. USE SUNOPTICS PRISMATIC SKYLIGHTS (ICC ESR-3557) PER SPECS
- 48.01 AREA DESIGNATED FOR FUTURE SOLAR PANEL. REFER TO TABLE ON THIS SHEET FOR AREA CALCULATIONS

FUTURE SOLAR AREA CALCULATIONS

ROOF AREA	15% of ROOF AREA	SOLAR AREA
16095.00 SF	2414.25 SF	2462.77 SF



OVERFLOW SCUPPER



PRIMARY SCUPPER

2 SCUPPER DETAILS
A1-31 SCALE: 3" = 1'-0"

DATE	ISSUED FOR	REV
2022.11.29	50% REVIEW	
2022.12.16	90% REVIEW	
2023.01.13	ENTITLEMENT CYCLE 2	

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This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.

Project Component
BUILDING SHELL

Key Plan

Consultants
Survey: N/A
Civil: MORTON & PITALO, INC.
Architecture: NORR
Structural: VLMK
Mechanical: COOLSYS
Electrical: COOLSYS
Interiors: N/A
Landscape:

Seal(s)

NORR
150 W. Jefferson Avenue, Suite 1300
Detroit, MI, US 48226
norr.com

Project Manager	Drawn
D. GAROFALO	D. WILSON

Project Leader	Checked
R. AVILA	

Client
Peter Bollinger Investment

Project
West Roseville Retail Centers

1751 Pleasant Grove Blvd.
West Roseville CA

Drawing Title
ROOF PLAN

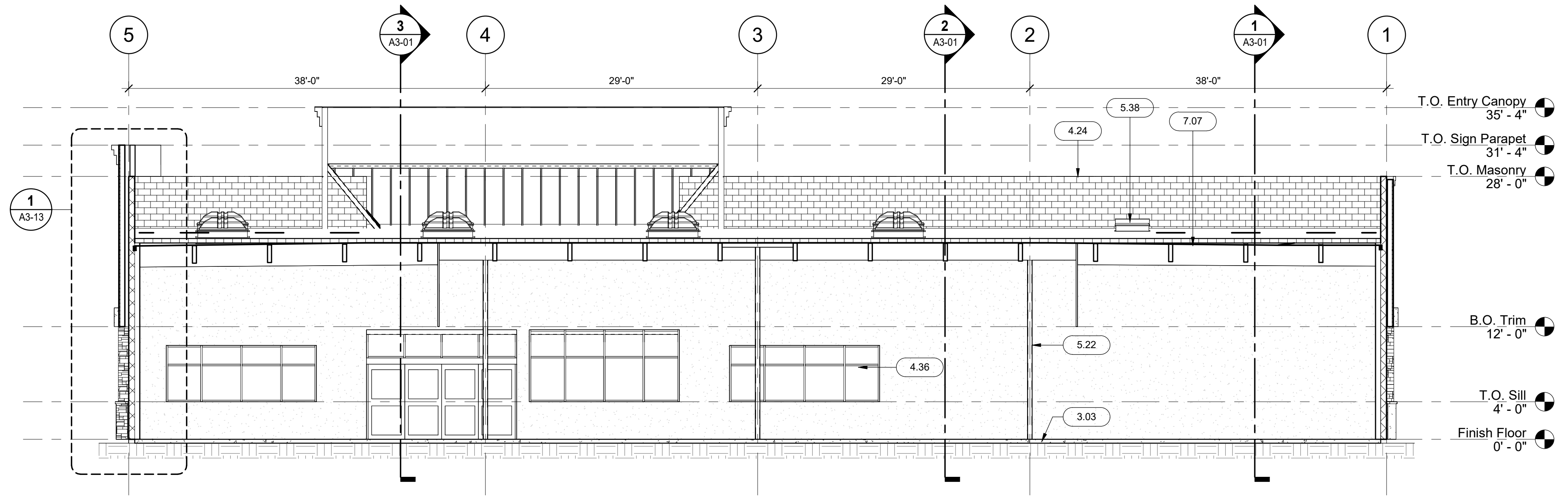
Scale
As indicated

Project No.
JCDC21-0477

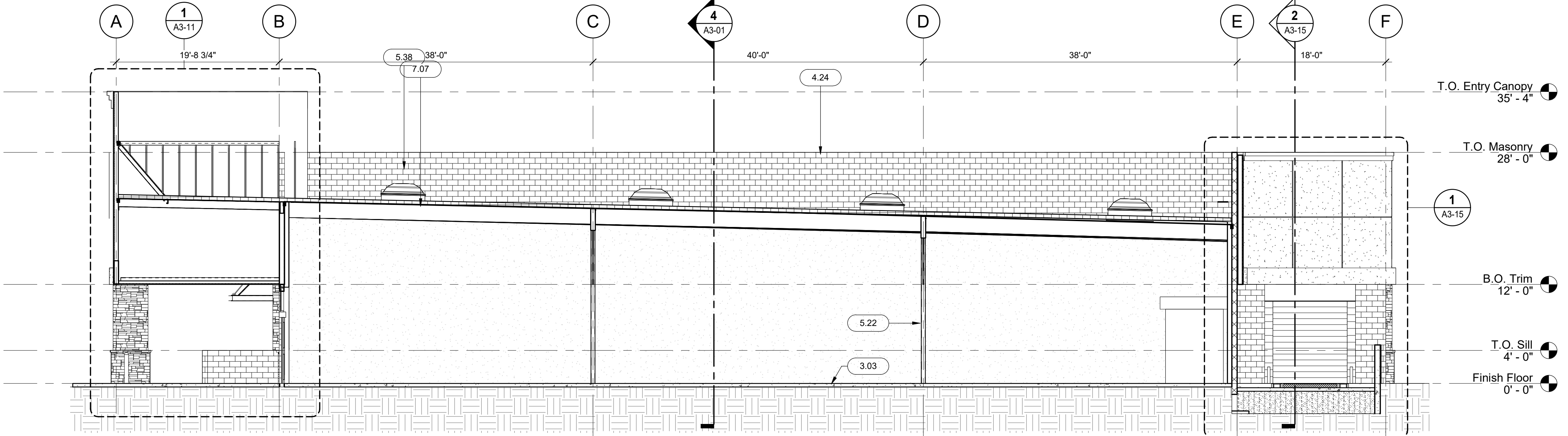
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A1-31

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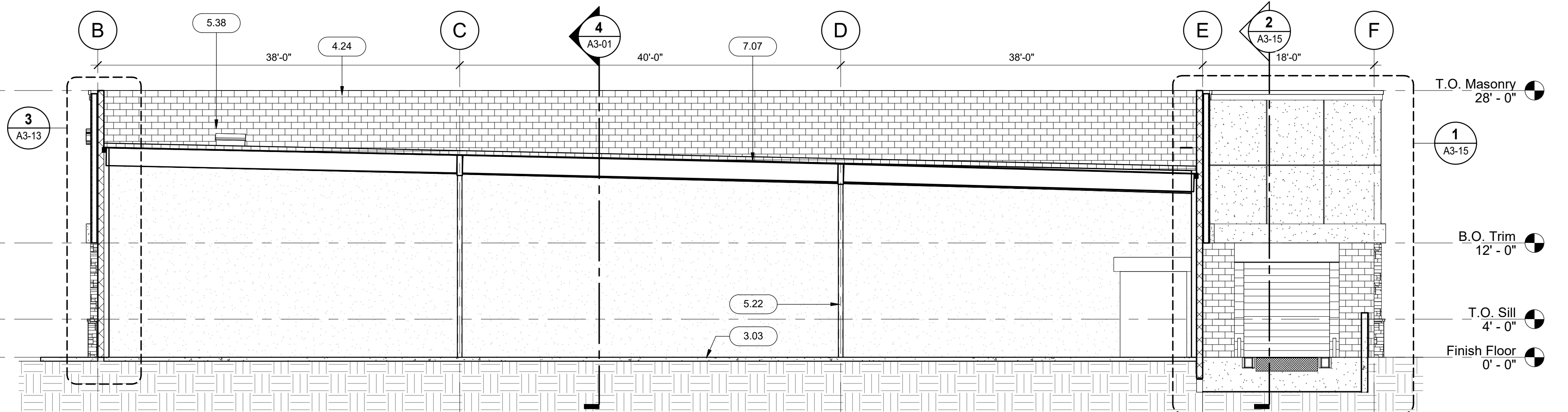
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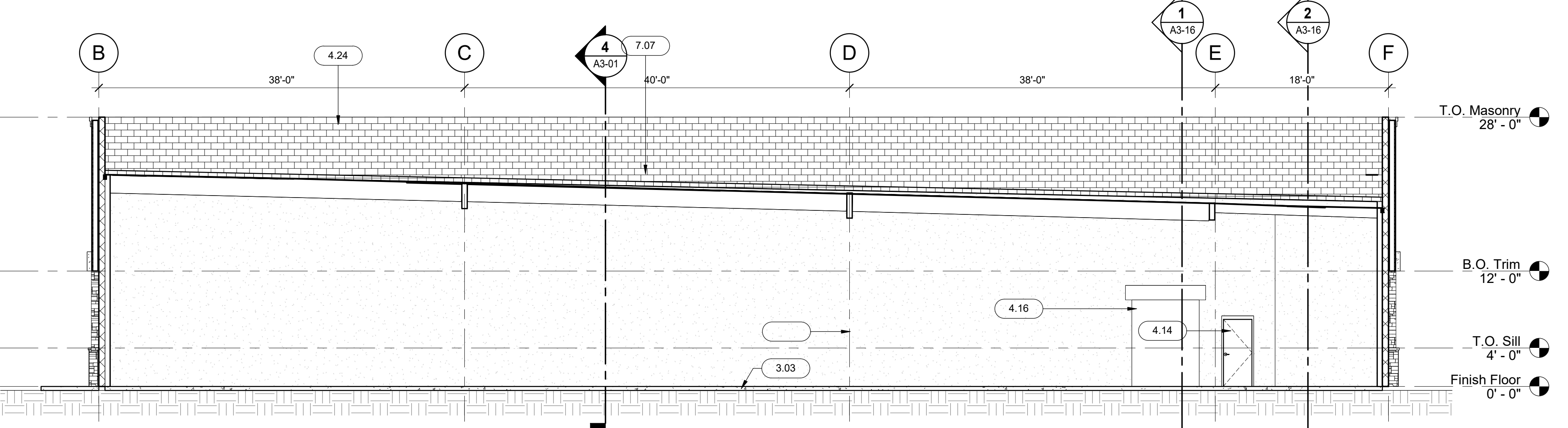
4 BUILDING SECTION
SCALE: 1/8" = 1'-0"



3 BUILDING SECTION
SCALE: 1/8" = 1'-0"



2 BUILDING SECTION
SCALE: 1/8" = 1'-0"



1 BUILDING SECTION
SCALE: 1/8" = 1'-0"

KEYNOTES	
3.03	REINFORCED SLAB ON GRADE WITH 15 MIL. VAPOUR BARRIER OVER GRANULAR FILL. REFER TO STRUCTURAL.
4.14	HOLLOW METAL DOOR AND FRAME - PAINT PER SCHEDULE
4.16	ROLL-UP DELIVERY DOOR - PAINT PER SCHEDULE
4.24	METAL PARAPET CORNING FLASHING - PAINT PER SCHEDULE
4.36	STOREFRONT WINDOWS WITH CLEAR ANODIZED ALUMINUM FRAME AND DUAL PANE NON-TINTED GLAZING
5.22	STEEL COLUMN - REFER TO STRUCTURAL
5.38	ROOF HATCH PER SPECIFICATIONS - ACCESS LADDER BY TENANT
7.07	SINGLE-PLY ROOFING MEMBRANE SYSTEM OVER R-30 MIN. RIGID INSULATION OVER PLYWOOD DECKING. REFER TO STRUCTURAL FOR PLYWOOD DECKING. MINIMUM TYPE C ROOF FIRE CLASSIFICATION.

DATE	ISSUED FOR	REV
2022.11.29	50% REVIEW	
2022.12.16	90% REVIEW	
2023.01.13	ENTITLEMENT CYCLE 2	

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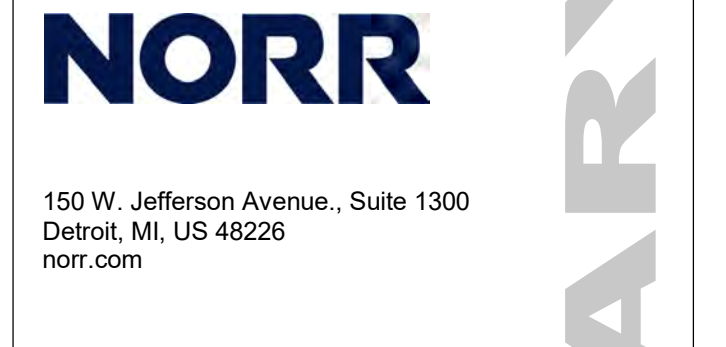
This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.

Project Component
BUILDING SHELL

Key Plan

Consultants	
Survey:	N/A
Civil:	MORTON & PITALO, INC.
Architecture:	NORR
Structural:	VLMK
Mechanical:	COOLSYS
Electrical:	COOLSYS
Interiors:	N/A
Landscape:	

Seal(s)



Project Manager	Drawn
D. GAROFALO	D. WILSON
Project Leader	Checked
R. AVILA	

Client
Peter Bollinger Investment

Project
West Roseville Retail Centers

1751 Pleasant Grove Blvd.
West Roseville CA

Drawing Title
OVERALL BUILDING SECTIONS

Scale
1/8" = 1'-0"

Project No.
JCDC21-0477

Drawing No.
A3-01

PRELIMINARY - NOT FOR CONSTRUCTION

DATE	ISSUED FOR	REV
2023-01-20	ISSUE FOR PERMIT	1
2023-02-06	PLANNING CYCLE 2 COMMENTS	2

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Project Component

Key Plan

Consultants
 Civil:
 Landscape:
 Architecture:
 Structural:
 Mechanical:
 Electrical:

Seal(s)

NORR

The Cannery
 1631 Alhambra Blvd., Suite 100
 Sacramento, CA, US 95816
 norr.com

Project Manager	BIM Lead
Design Lead	Drawn S. TAYARA
Project Leader	Checked M. NOVAK/LEONG

PETER BOLLINGER INVESTMENT CO

Project
 WEST ROSEVILLE_SHELL

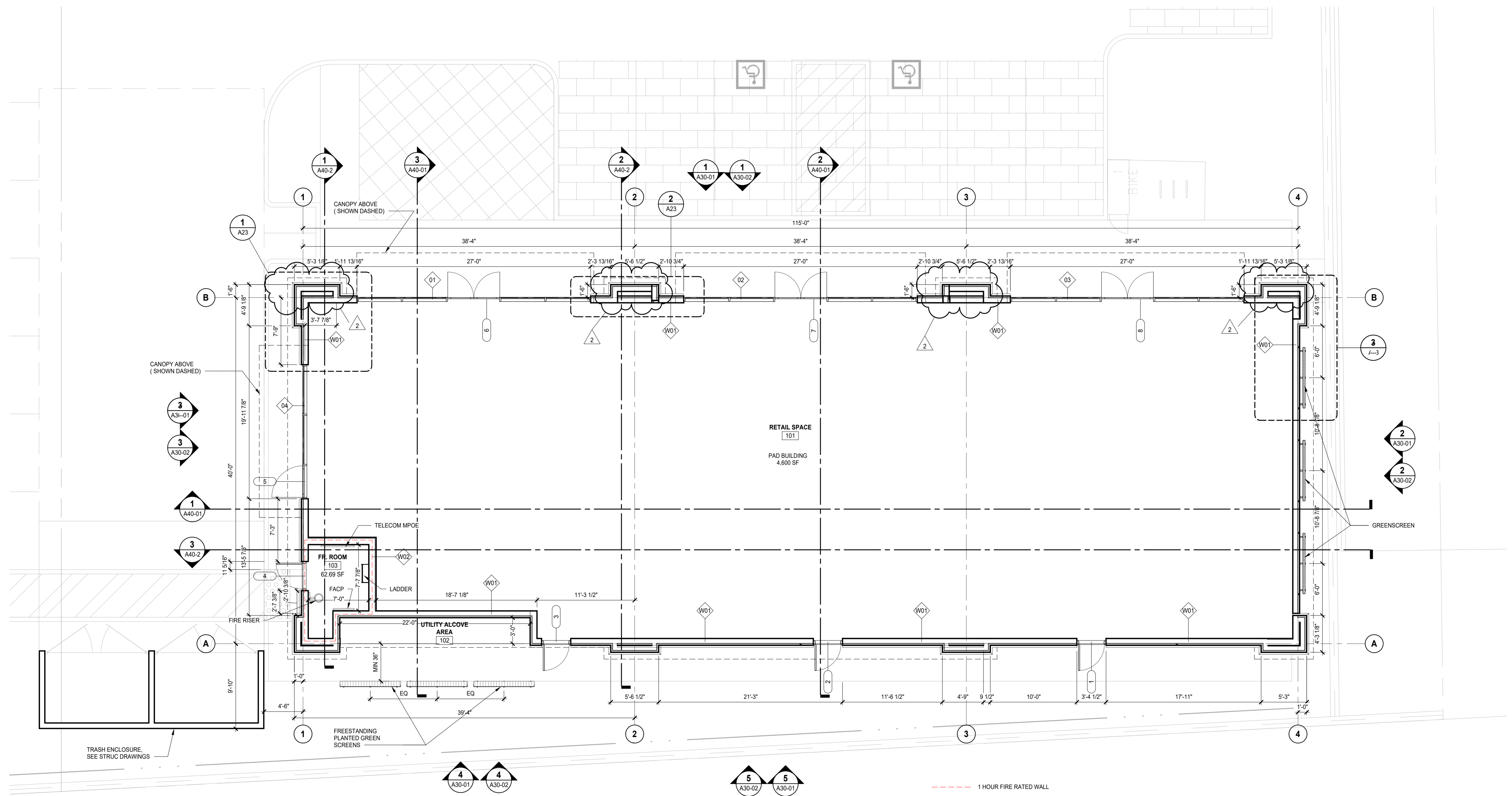
1751 PLEASANT GROVE BLVD.
 ROSEVILLE, CA 95747

Drawing Title
 FLOOR PLAN

Scale 3/16" = 1'-0"

Project No. JCSR22-0035

Drawing No. A20-01



1 FLOOR PLAN
 SCALE: 3/16" = 1'-0"

DATE	ISSUED FOR	REV
2023-01-20	ISSUE FOR PERMIT	1
2023-02-06	PLANNING CYCLE 2 COMMENTS	2

PRELIMINARY NOT FOR CONSTRUCTION

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Project Component

Key Plan

Consultants
 Civil:
 Landscape:
 Architecture:
 Structural:
 Mechanical:
 Electrical:

Seal(s)

NORR

The Cannery
 1631 Alhambra Blvd., Suite 100
 Sacramento, CA, US 95816
 norr.com

Project Manager	BIM Lead
Design Lead	Drawn
Project Leader	Checked

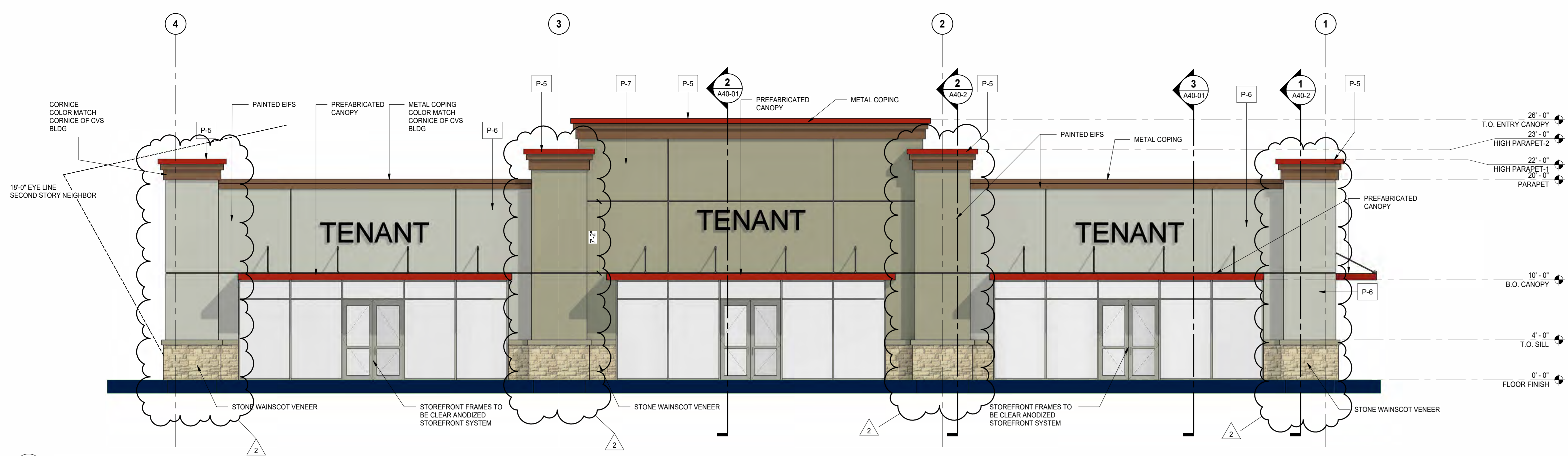
PETER BOLLINGER INVESTMENT CO

Project
 WEST ROSEVILLE_SHELL

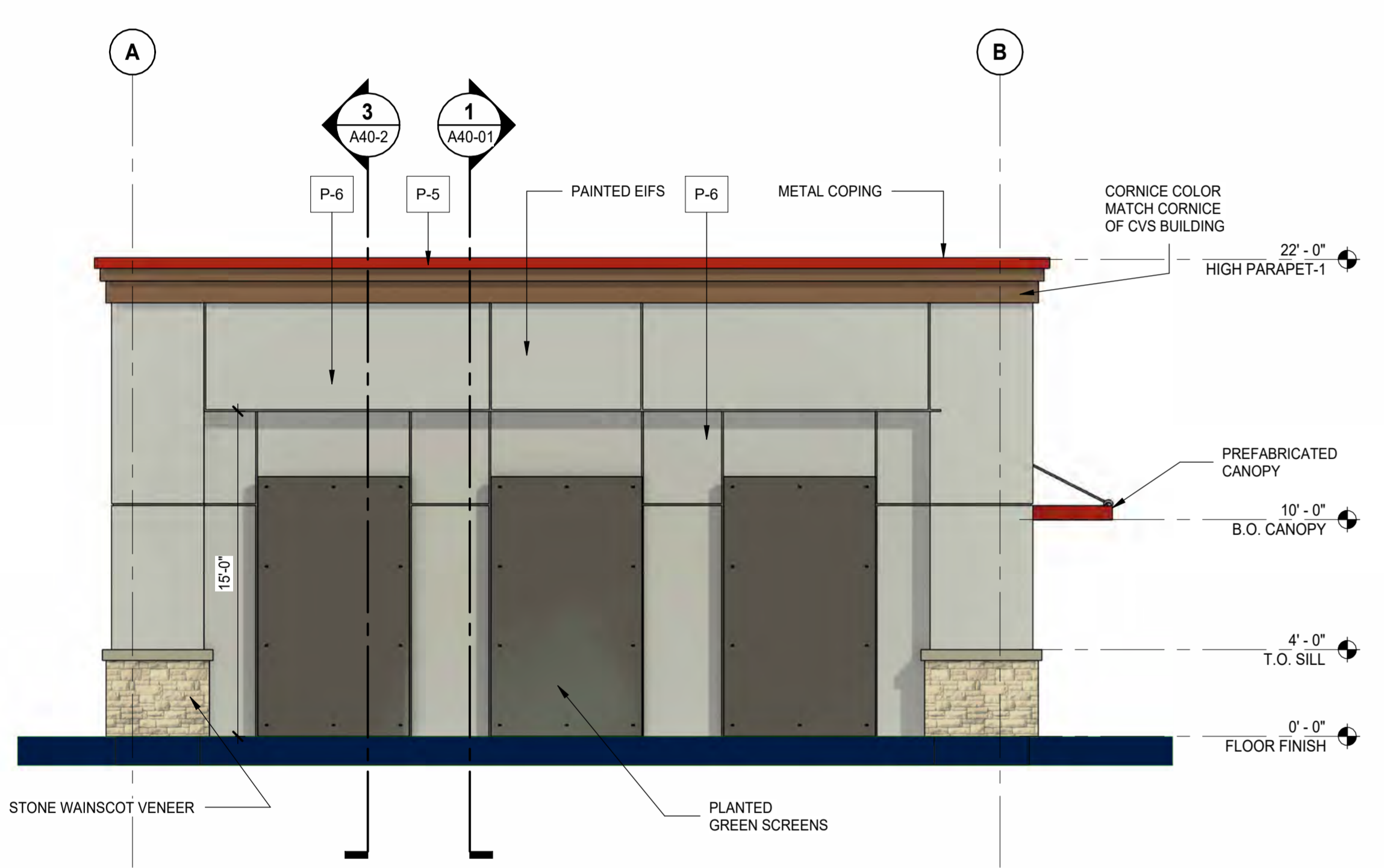
1751 PLEASANT GROVE BLVD.
 ROSEVILLE, CA 95747

Drawing Title
 COLORED EXTERIOR ELEVATIONS

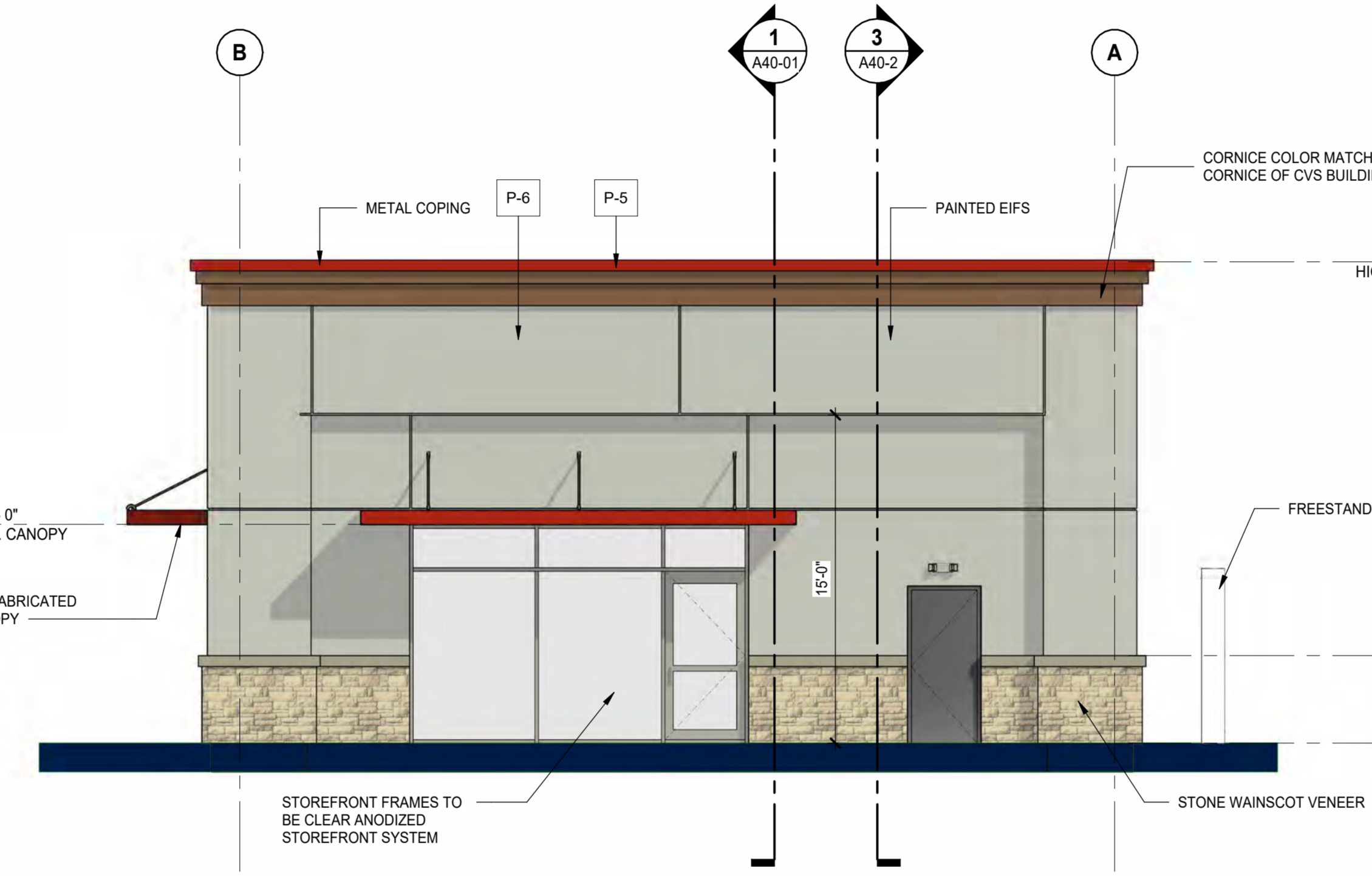
Scale 3/16" = 1'-0"
Project No. JCSR22-0035
Drawing No. A30-01



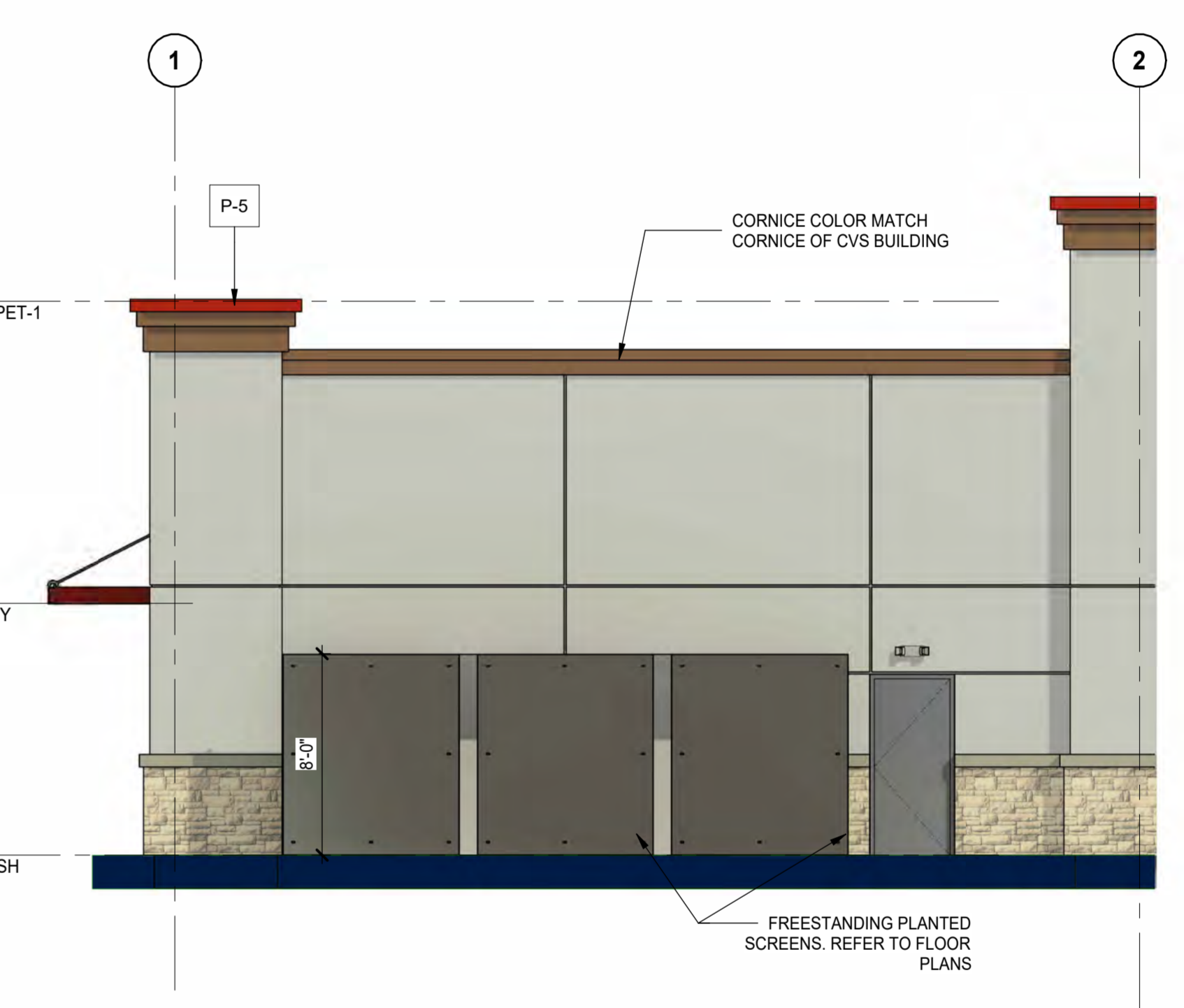
1 NORTH ELEVATION - FRONT
 SCALE: 3/16" = 1'-0"



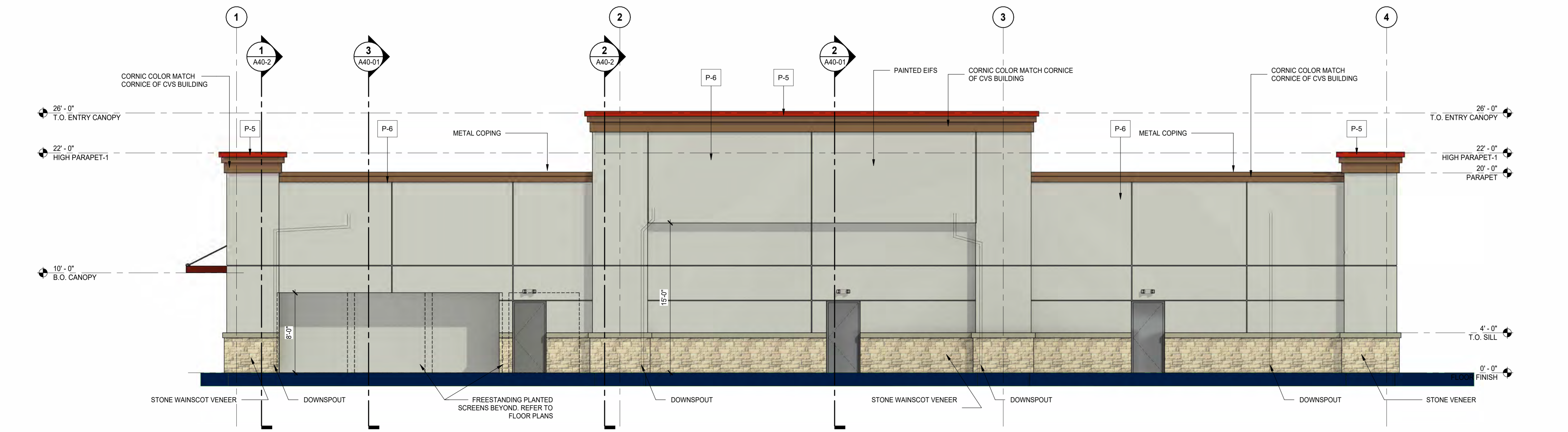
2 EAST ELEVATION
 SCALE: 3/16" = 1'-0"



3 WEST ELEVATION
 SCALE: 3/16" = 1'-0"



4 PARTIAL SOUTH ELEVATION - REAR -
 SCALE: 3/16" = 1'-0"



5 SOUTH ELEVATION - REAR
 SCALE: 3/16" = 1'-0"

EXTERIOR PAINT SCHEDULE	
MARK	PAINT NAME
P-5	HERITAGE RED, BENJAMIN MOORE #PM-18
P-6	SHORELINE, BENJAMIN MOORE #1471
P-7	GRAYSTONE, BENJAMIN MOORE #1475

2/6/2023 5:03:47 PM Autodesk Docs/Peter Bollinger Investment - West Roseville Retail/JCSR22-0035_WestRoseville_CO_Shell_R22.rvt

DATE	ISSUED FOR	REV
2023-01-20	ISSUE FOR PERMIT	1
2023-02-06	PLANNING CYCLE 2 COMMENTS	2

PRELIMINARY NOT FOR CONSTRUCTION

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Project Component

Key Plan

Consultants

Civil:
Landscape:
Architecture:
Structural:
Mechanical:
Electrical:

Seal(s)



NORR

The Cannery
1631 Alhambra Blvd., Suite 100
Sacramento, CA, US 95816
nor.com

Project Manager	BIM Lead
Design Lead	Drawn
Project Leader	Author
	Checked
	Checker

PETER BOLLINGER INVESTMENT CO

Project

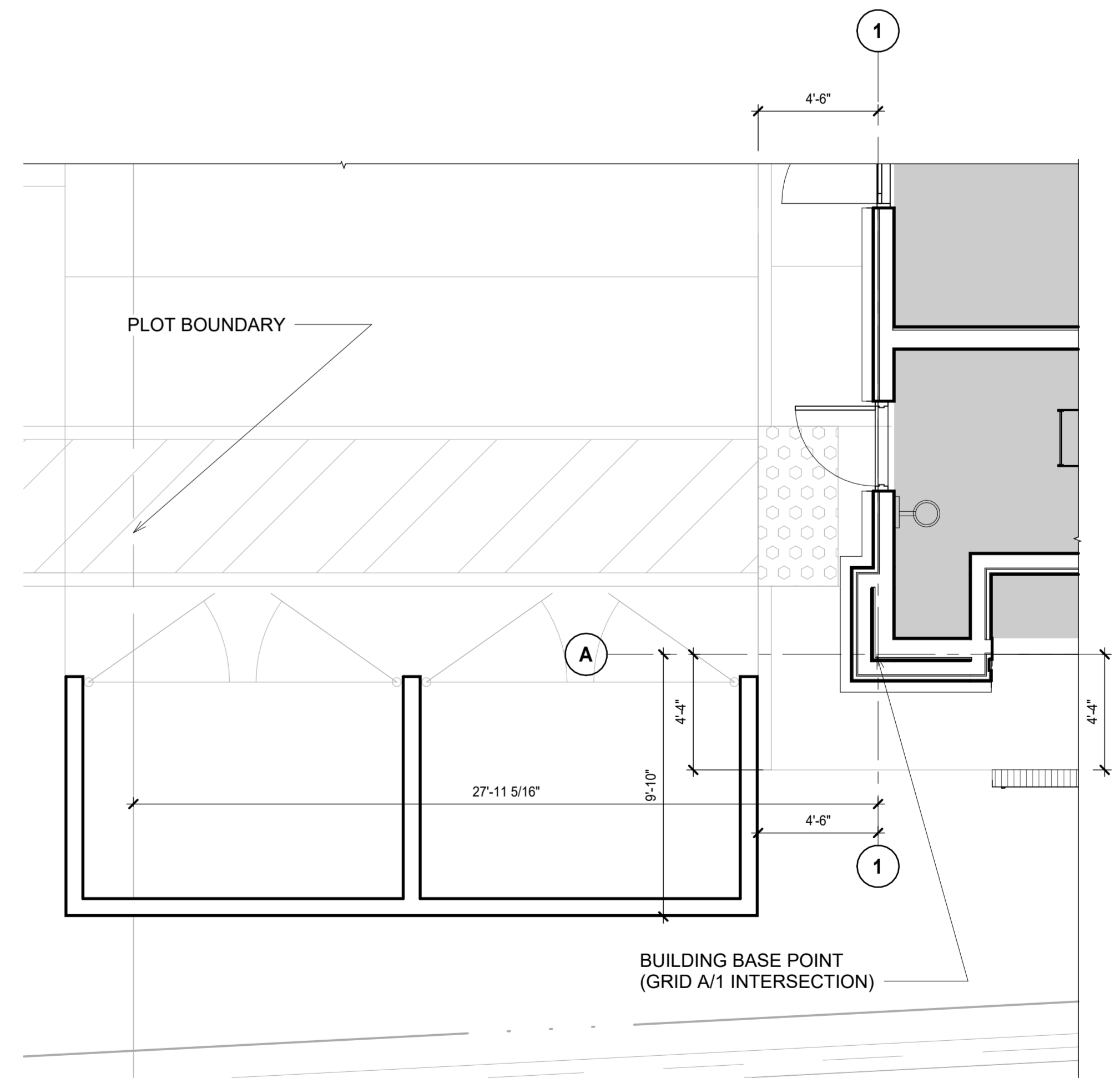
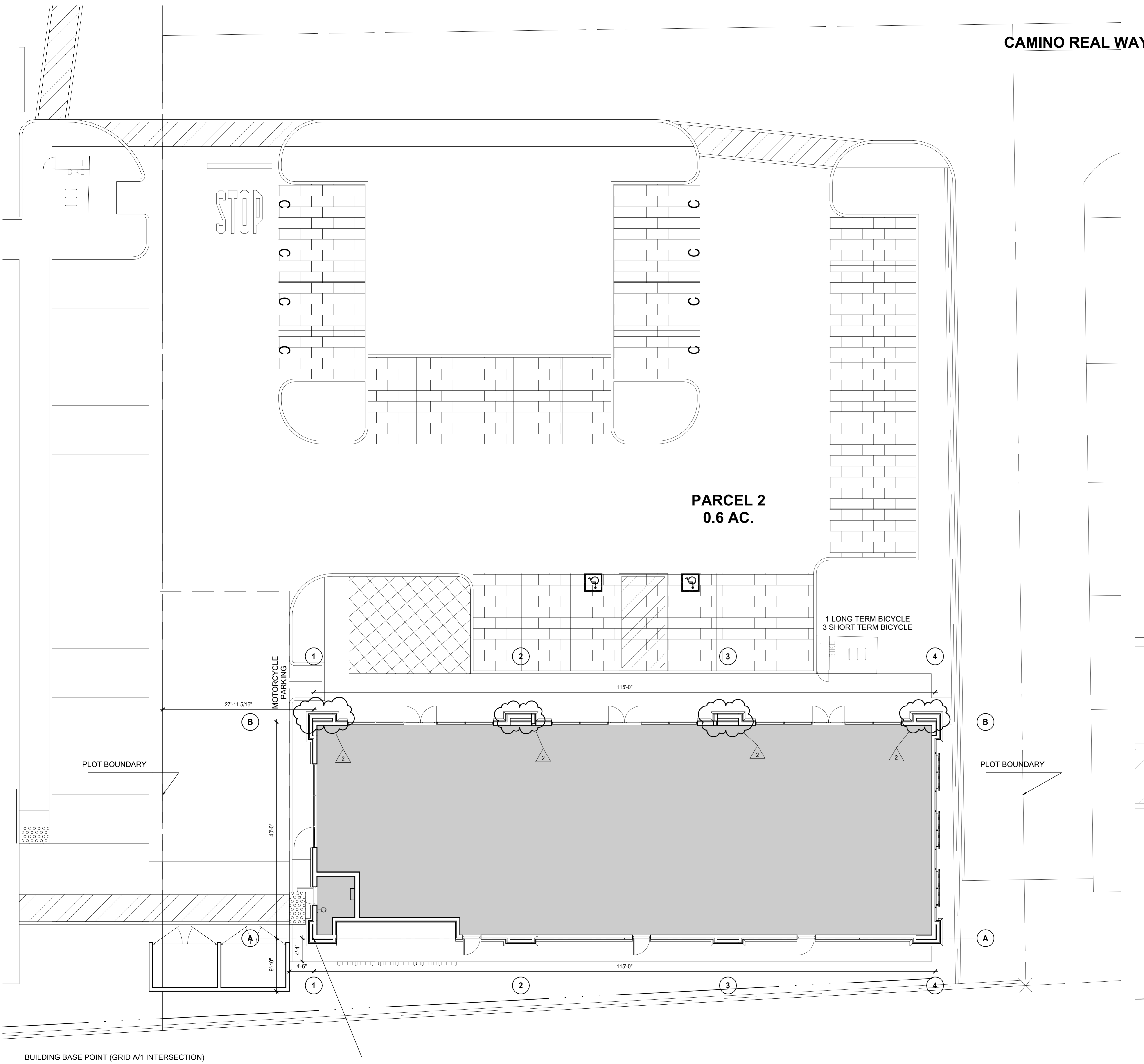
WEST ROSEVILLE_SHELL

1751 PLEASANT GROVE BLVD.
ROSEVILLE, CA 95747

Drawing Title

SITE PLAN

Scale	As Indicated
Project No.	JCSR22-0035
Drawing No.	A10-01

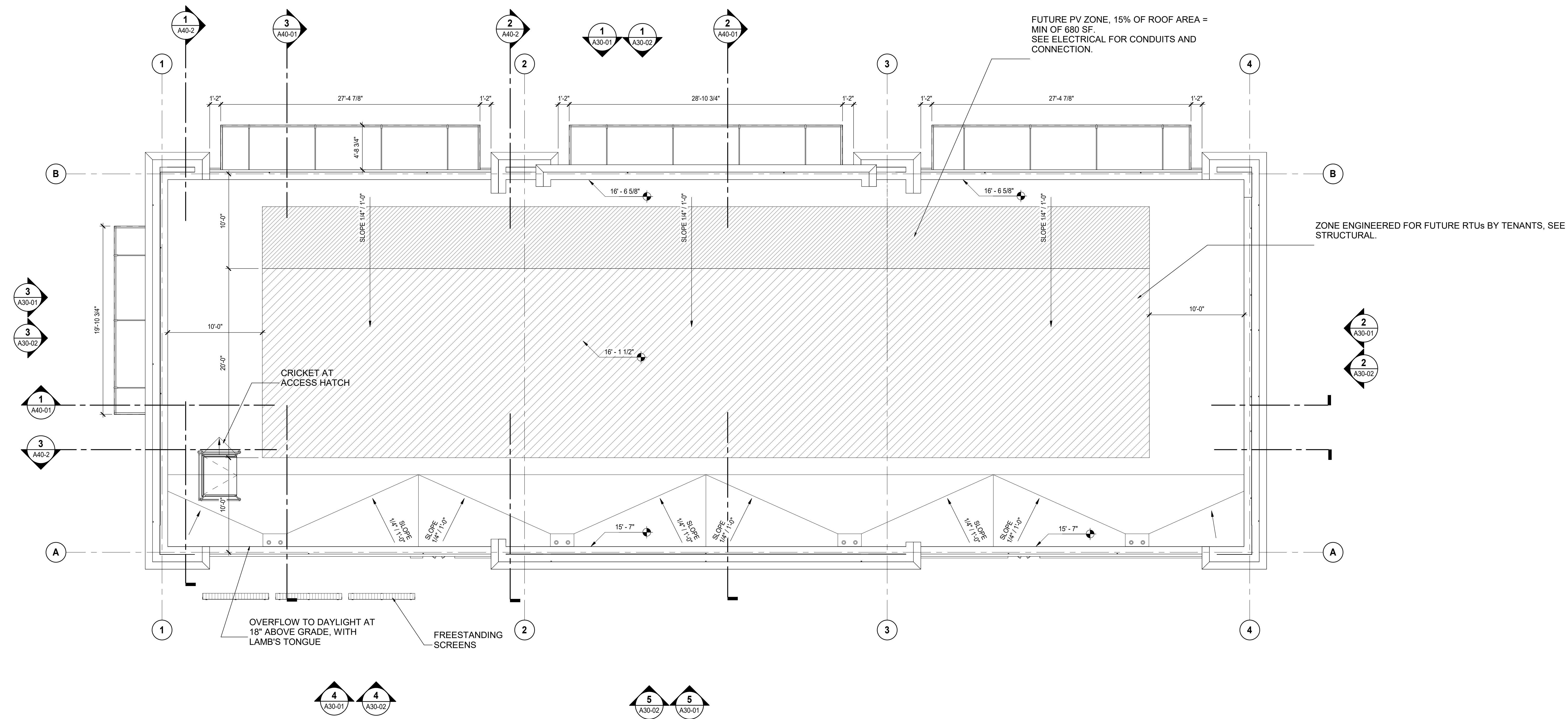


1 SITE PLAN
SCALE: 1/8" = 1'-0"

2 BUILDING BASE POINT
SCALE: 1/4" = 1'-0"



PRELIMINARY NOT FOR CONSTRUCTION



1
A20-05
ROOF PLAN
SCALE: 3/16" = 1'-0"

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Project Component
Key Plan

Consultants
 Civil:
 Landscape:
 Architecture:
 Structural:
 Mechanical:
 Electrical:

Seal(s)

NORR

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 1631 Alhambra Blvd., Suite 100
 Sacramento, CA, US 95816
 norr.com

Project Manager	BIM Lead
Design Lead	Drawn Author
Project Leader	Checked Checker

PETER BOLLINGER INVESTMENT CO

Project
 WEST ROSEVILLE_SHELL

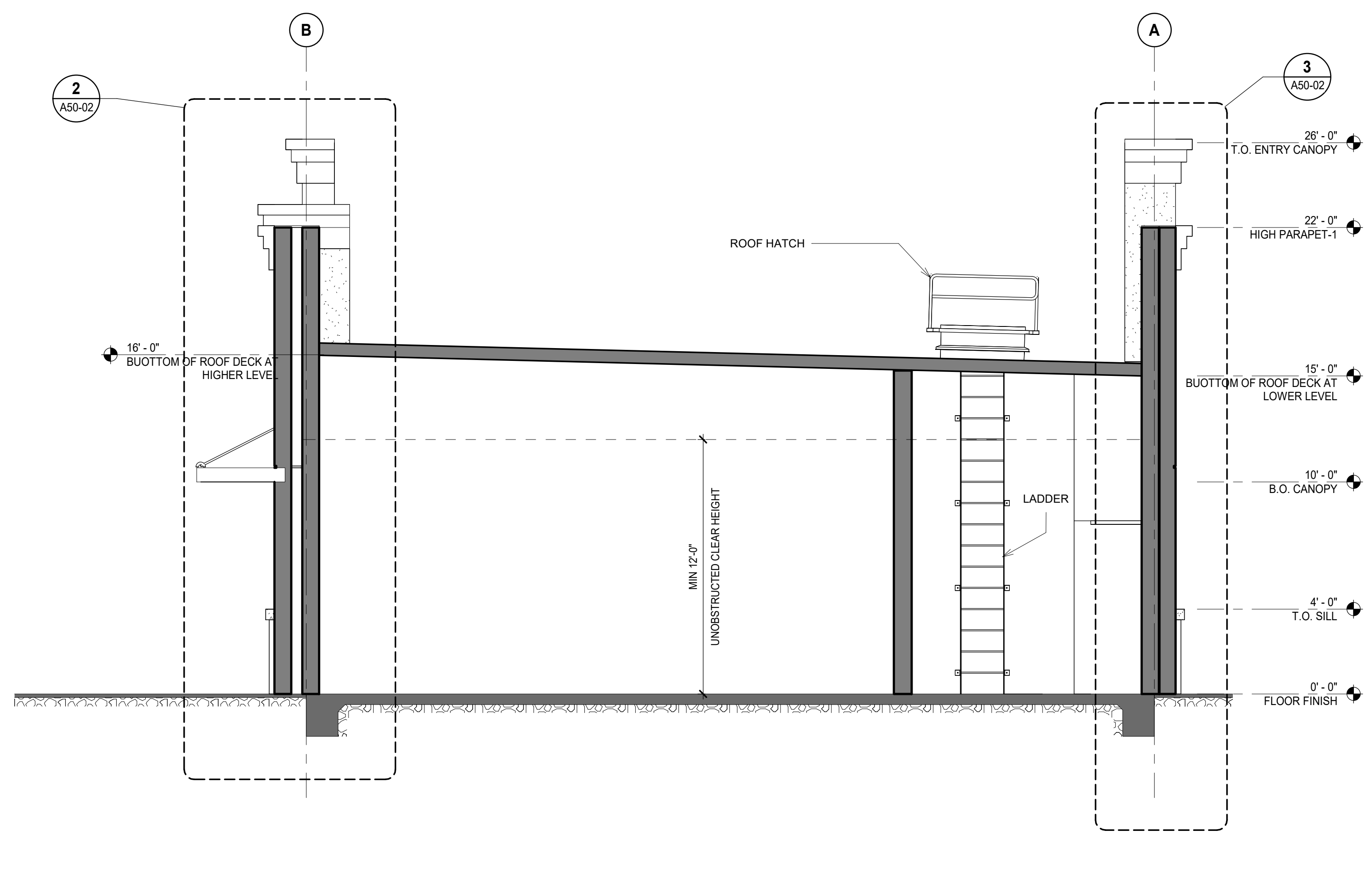
1751 PLEASANT GROVE BLVD.
 ROSEVILLE, CA 95747

Drawing Title
 ROOF PLAN

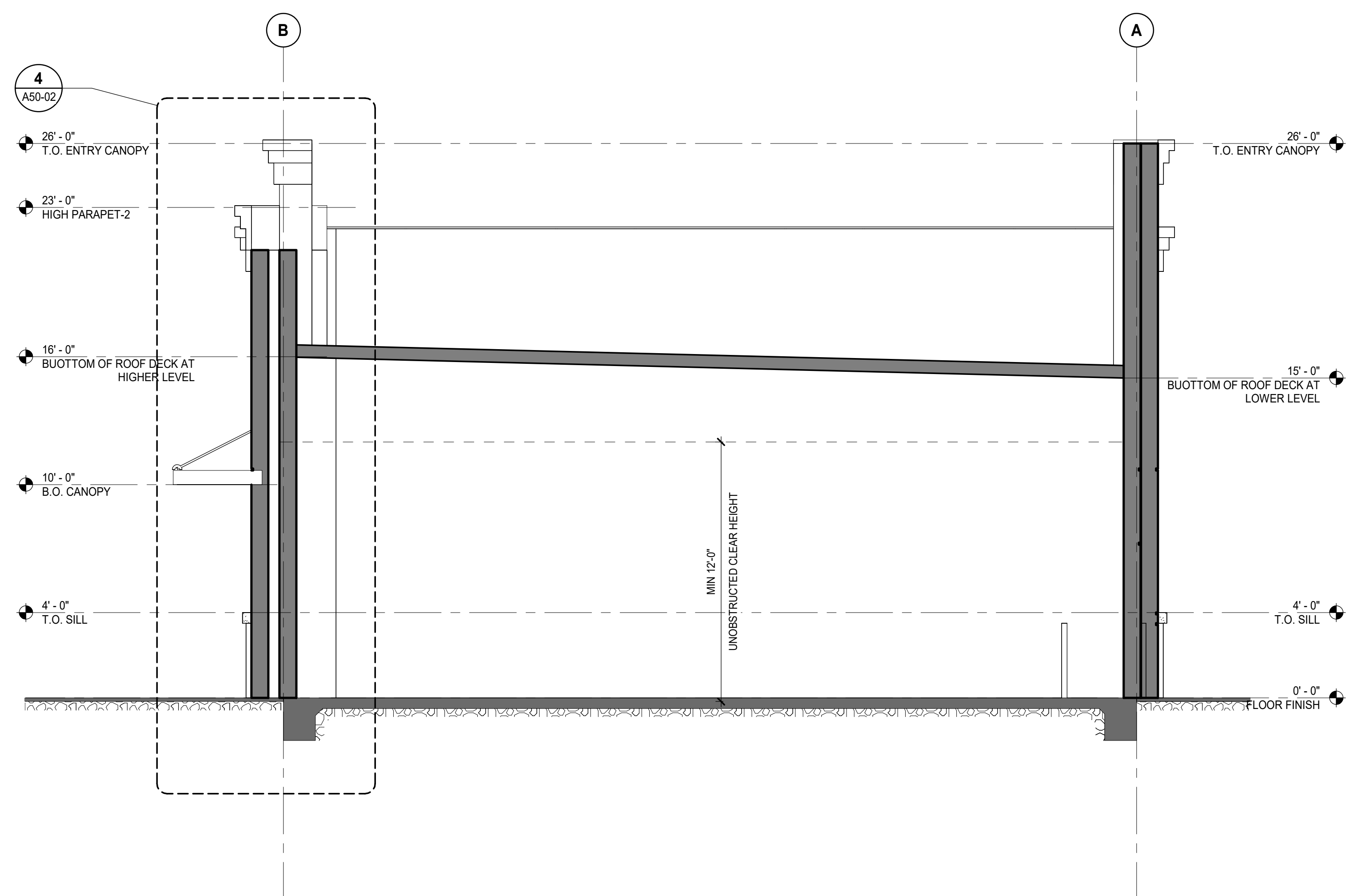
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Project No.	JCSR22-0035
Drawing No.	A20-05



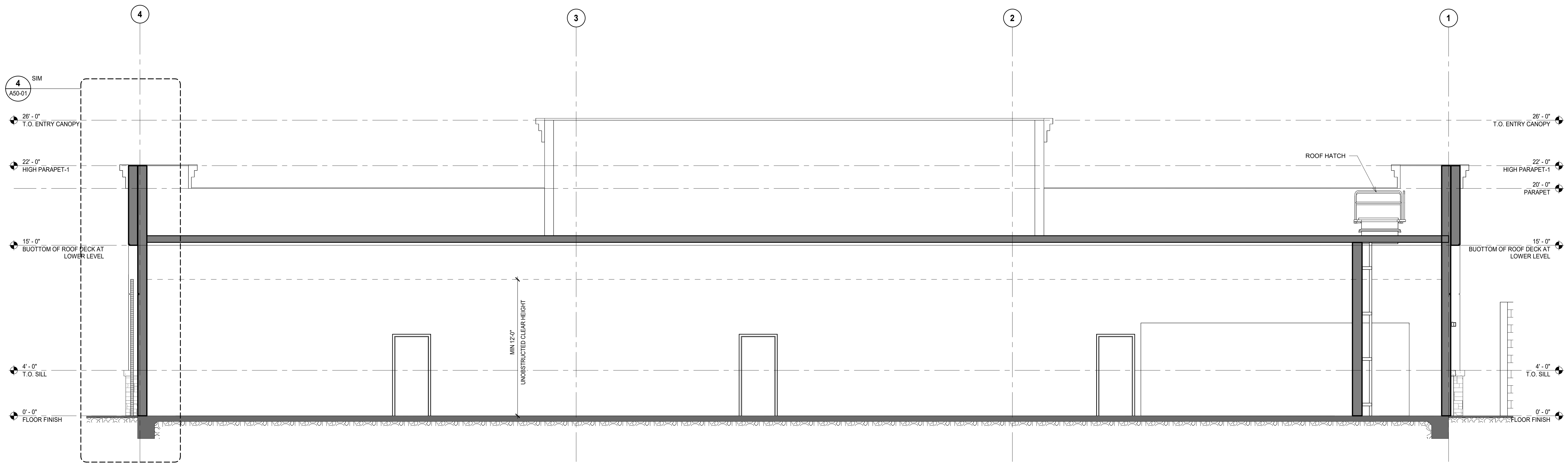
PRELIMINARY NOT FOR CONSTRUCTION



1 BUILDING SECTION 4
A40-2 SCALE: 1/4" = 1'-0"



2 BUILDING SECTION 5
A40-2 SCALE: 1/4" = 1'-0"



3 BUILDING SECTION 6
A40-2 SCALE: 1/4" = 1'-0"

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Project Component

Key Plan

Consultants

Civil:
Landscape:
Architecture:
Structural:
Mechanical:
Electrical:

Seal(s)

NORR

The Cannery
1631 Alhambra Blvd., Suite 100
Sacramento, CA, US 95816
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Project Manager	BIM Lead
Design Lead	Drawn
Project Leader	Author
	Checked
	Checker

PETER BOLLINGER INVESTMENT CO

Project
WEST ROSEVILLE_SHELL

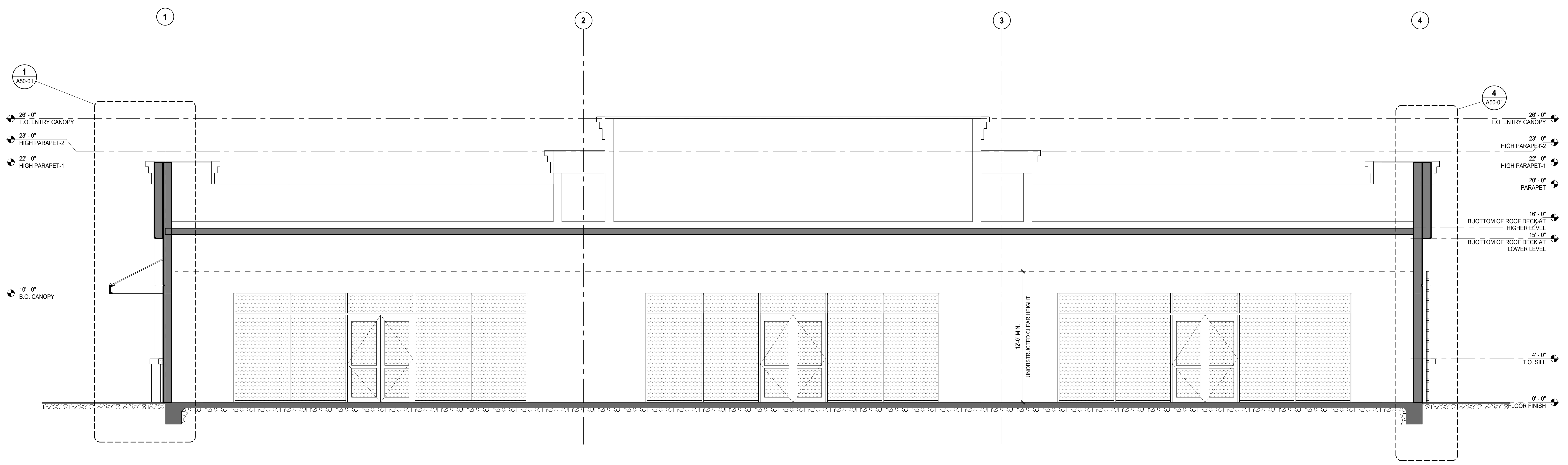
1751 PLEASANT GROVE BLVD.
ROSEVILLE, CA 95747

Drawing Title
BUILDING SECTIONS

Scale 1/4" = 1'-0"
Project No. JCSR22-0035

Drawing No. **A40-2**

PRELIMINARY NOT FOR CONSTRUCTION



1 BUILDING SECTION 1
SCALE: 1/4" = 1'-0"

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Project Component
Key Plan

Consultants
 Civil:
 Landscape:
 Architecture:
 Structural:
 Mechanical:
 Electrical:

Seal(s)

NORR

The Cannery
 1631 Alhambra Blvd., Suite 100
 Sacramento, CA, US 95816
 norr.com

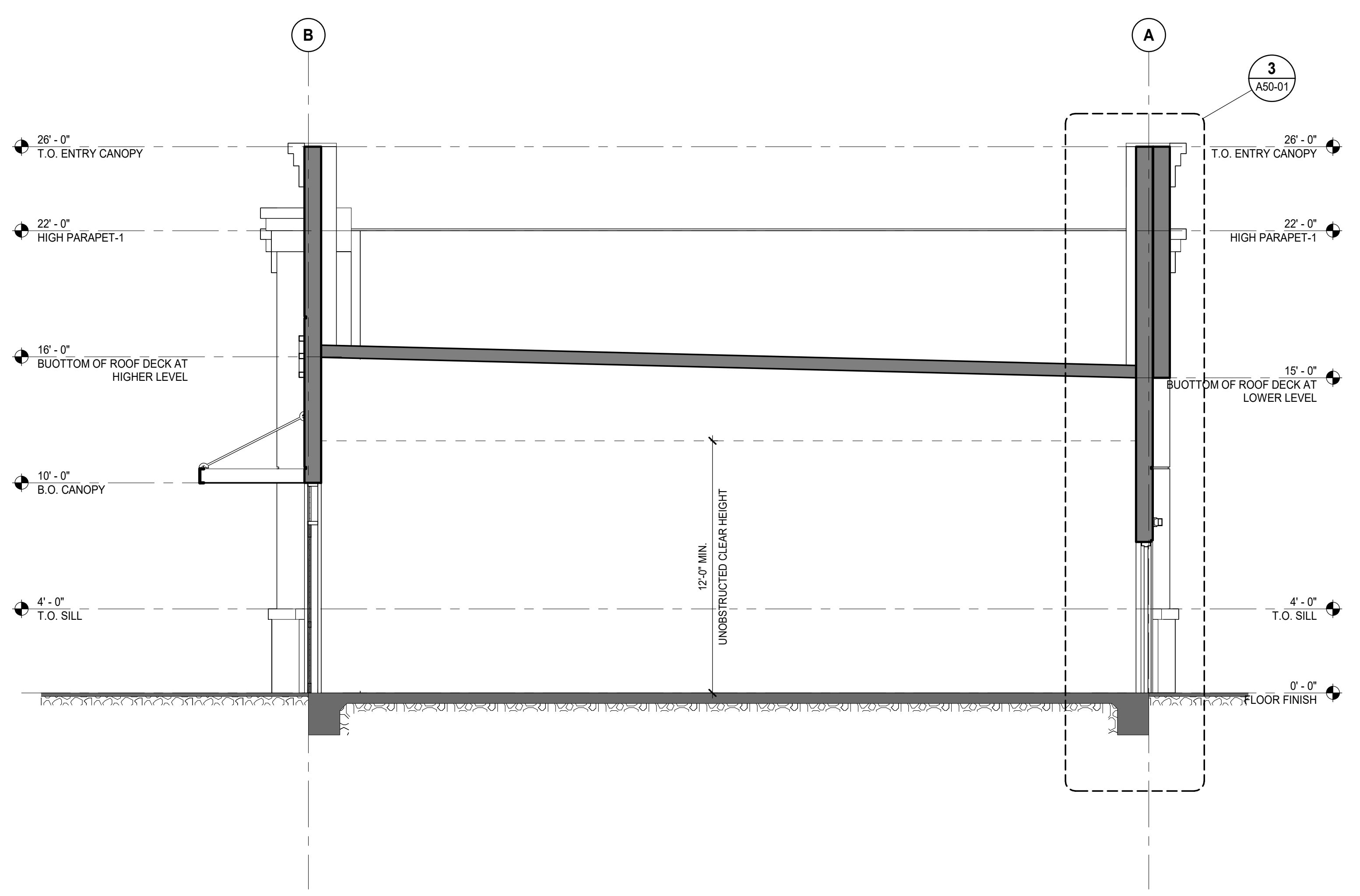
Project Manager	BIM Lead
Design Lead	Drawn Author
Project Leader	Checked Checker

PETER BOLLINGER INVESTMENT CO

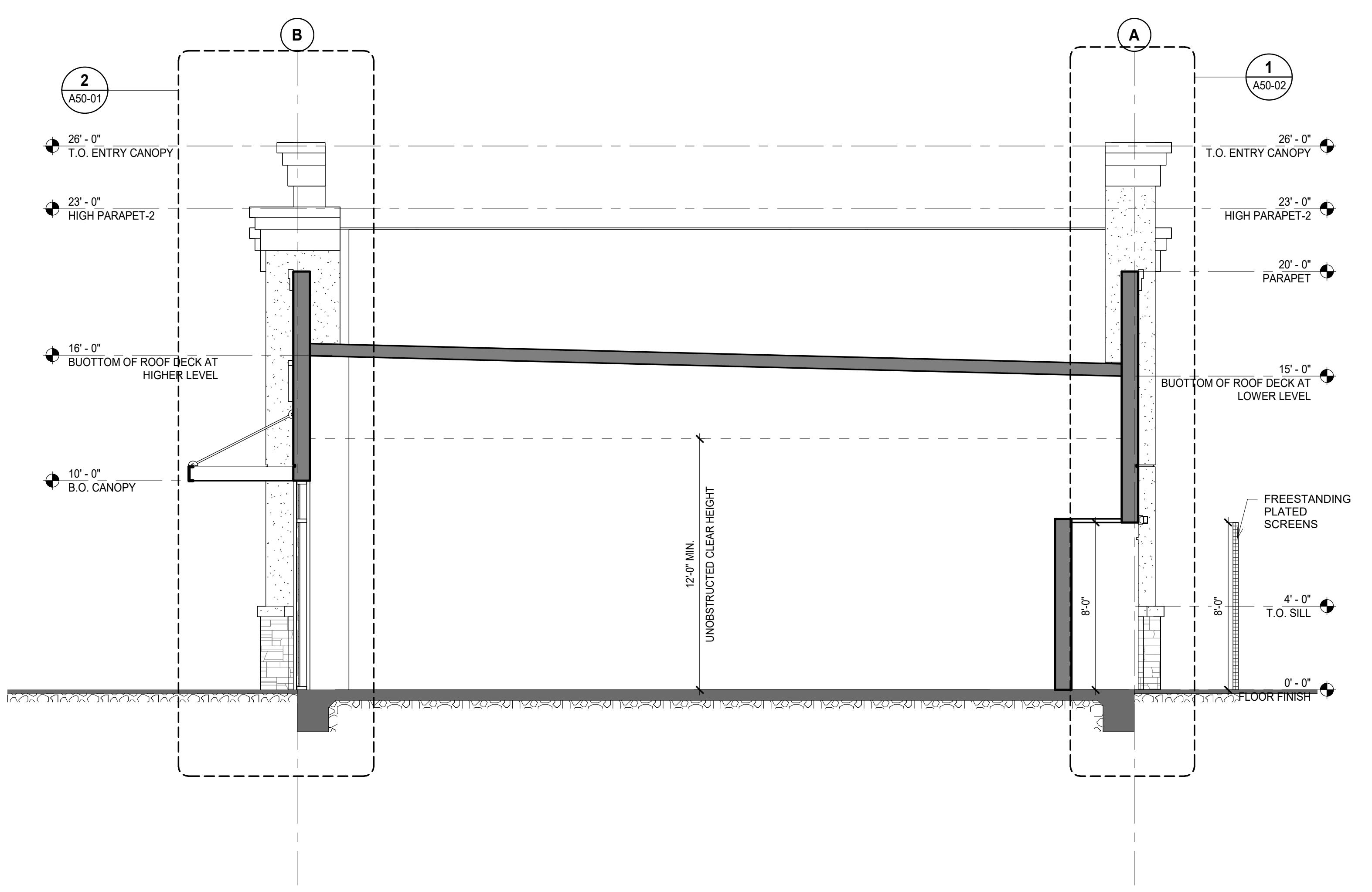
Project
 WEST ROSEVILLE_SHELL

1751 PLEASANT GROVE BLVD.
 ROSEVILLE, CA 95747

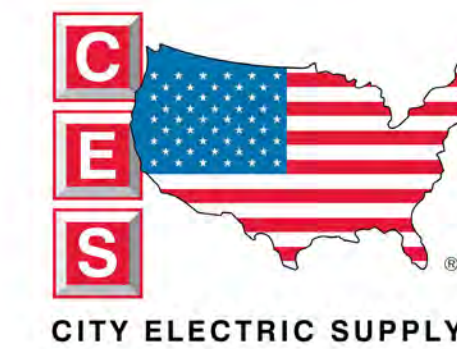
Drawing Title	BUILDING SECTIONS
Scale	1/4" = 1'-0"
Project No.	JCSR22-0035
Drawing No.	A40-01



2 BUILDING SECTION 2
SCALE: 1/4" = 1'-0"



3 BUILDING SECTION 3
SCALE: 1/4" = 1'-0"



CITY ELECTRIC SUPPLY

Head Office
400 S. Record St.
Dallas, TX 75202

1
2
3
4

Exterior Layout

CLIENT

GROCERY OUTLET
West Roseville, CA

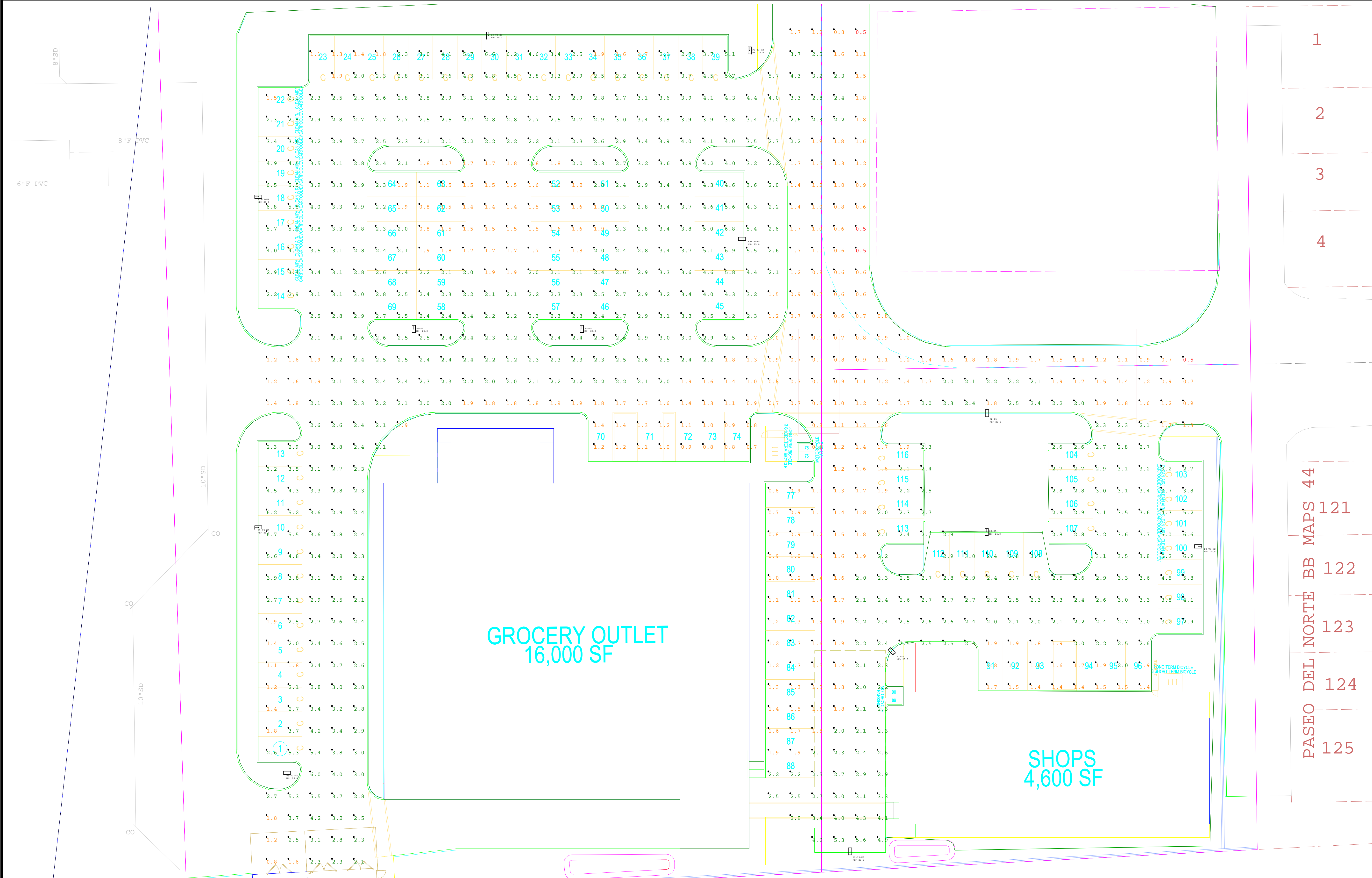
ADDRESS

SHEET

PASEO DEL NORTE BB MAPS 44
121
122
123
124
125

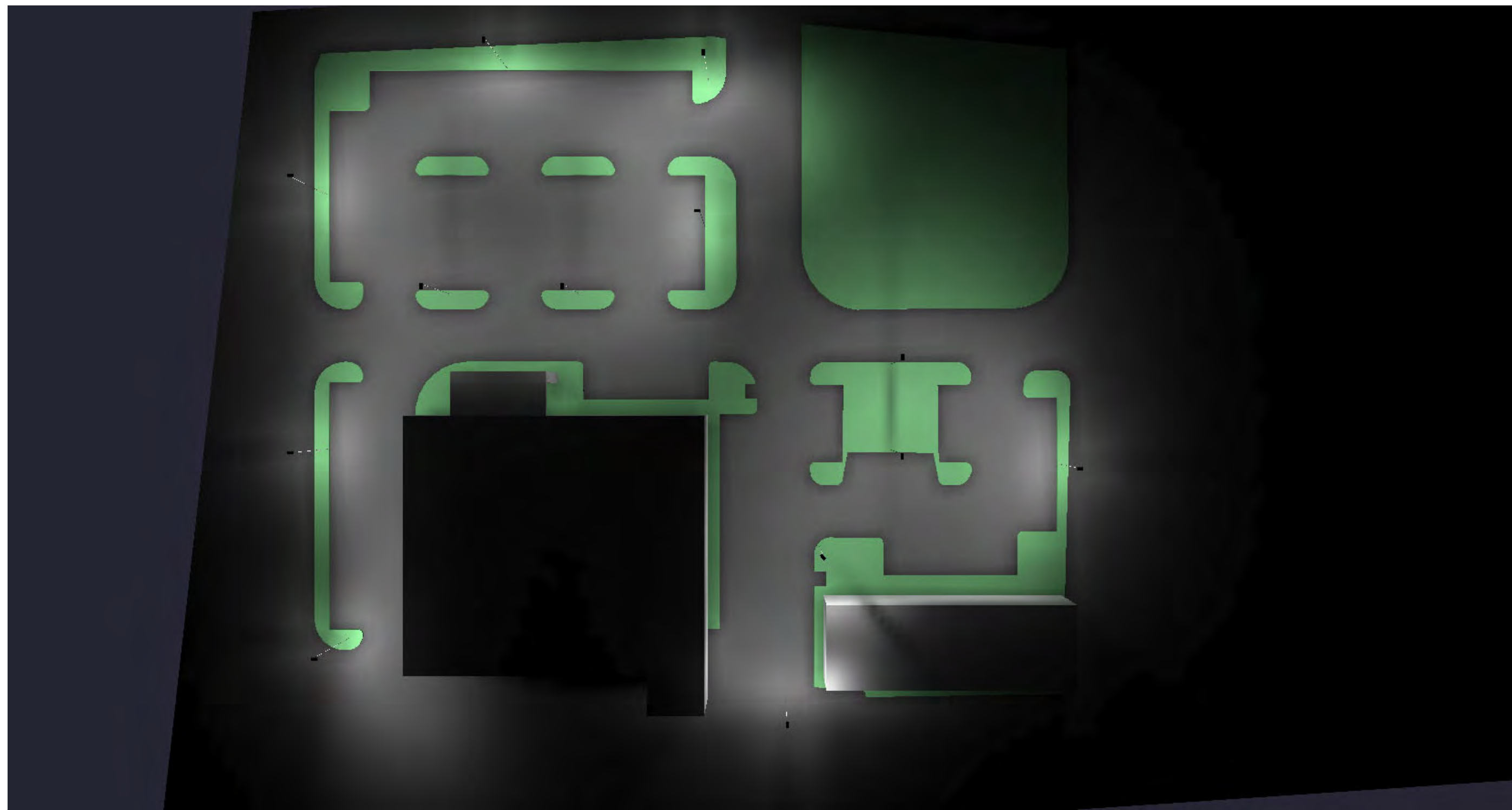
DESIGNER: DW
DATE: 01.06.23
REV: 8
SCALE: 1" = 19'

L01

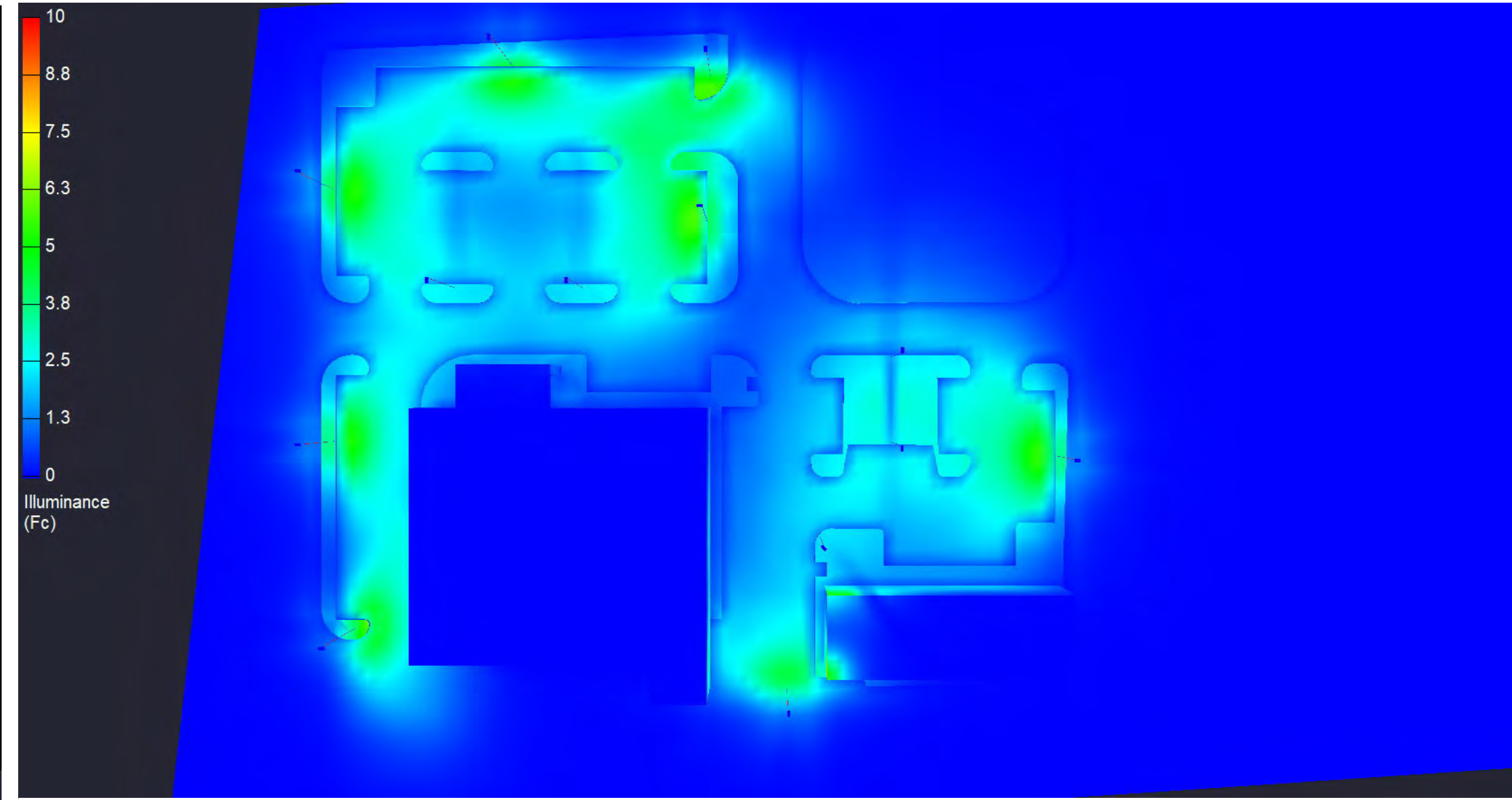


FIXTURE SCHEDULE

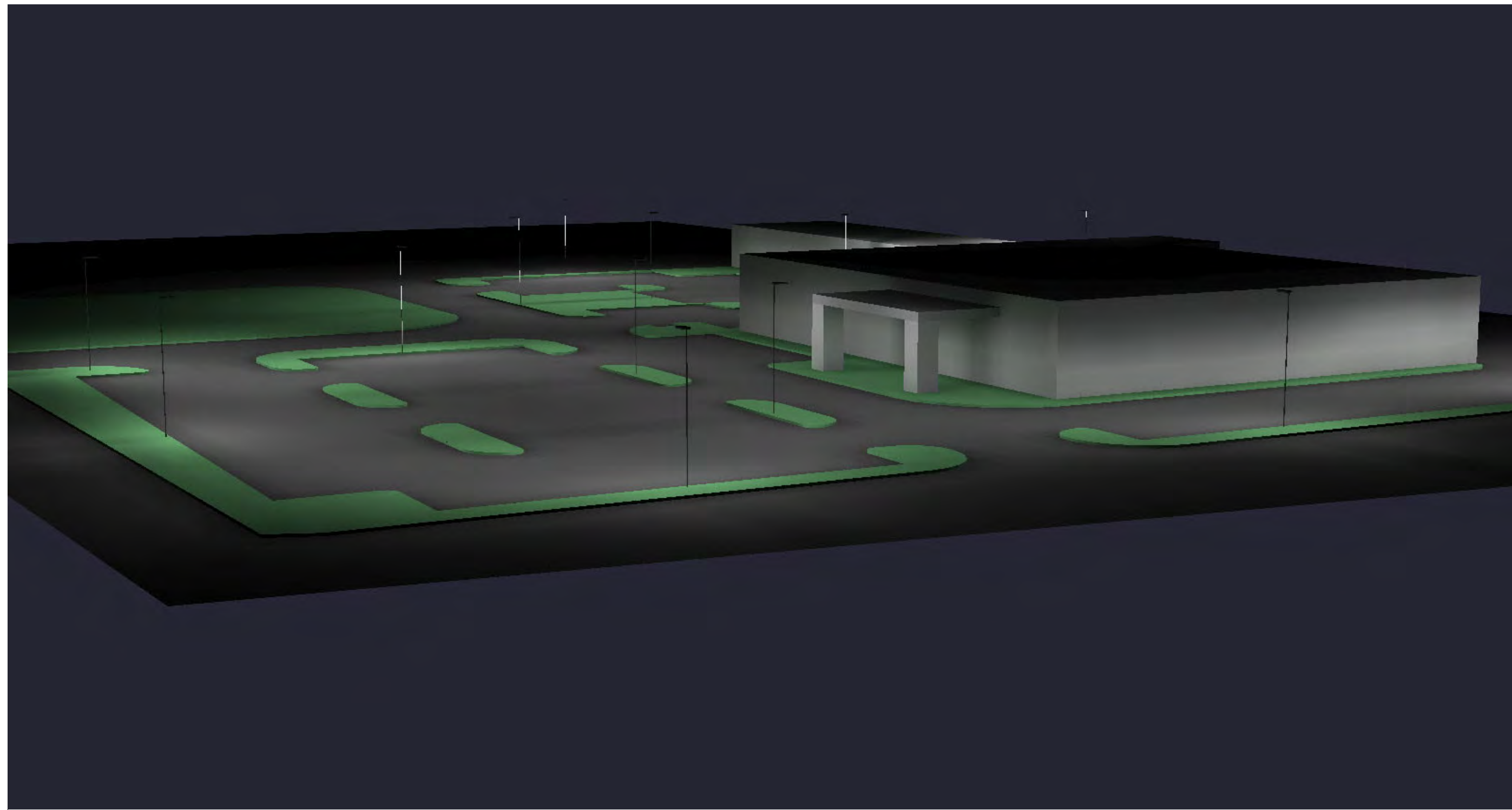
Qty	Symbol	Label	Arrangement	Description	Lum. Watts	Total Watts	Lum. Lumens	LLF
1		P2-T3-HS	SINGLE	Area Lighter / Acuity / RSX2 LED P2 40K R3 EGS	114.071	114.071	14792	0.850
5		P2-T5	SINGLE	Area Lighter / Acuity / RSX2 LED P2 40K R5	114.07	570.35	17657	0.850
7		P3-T3-HS	SINGLE	Area Lighter / Acuity / RSX2 LED P3 40K R3 EGS	149.9762	1049.833	18691	0.850



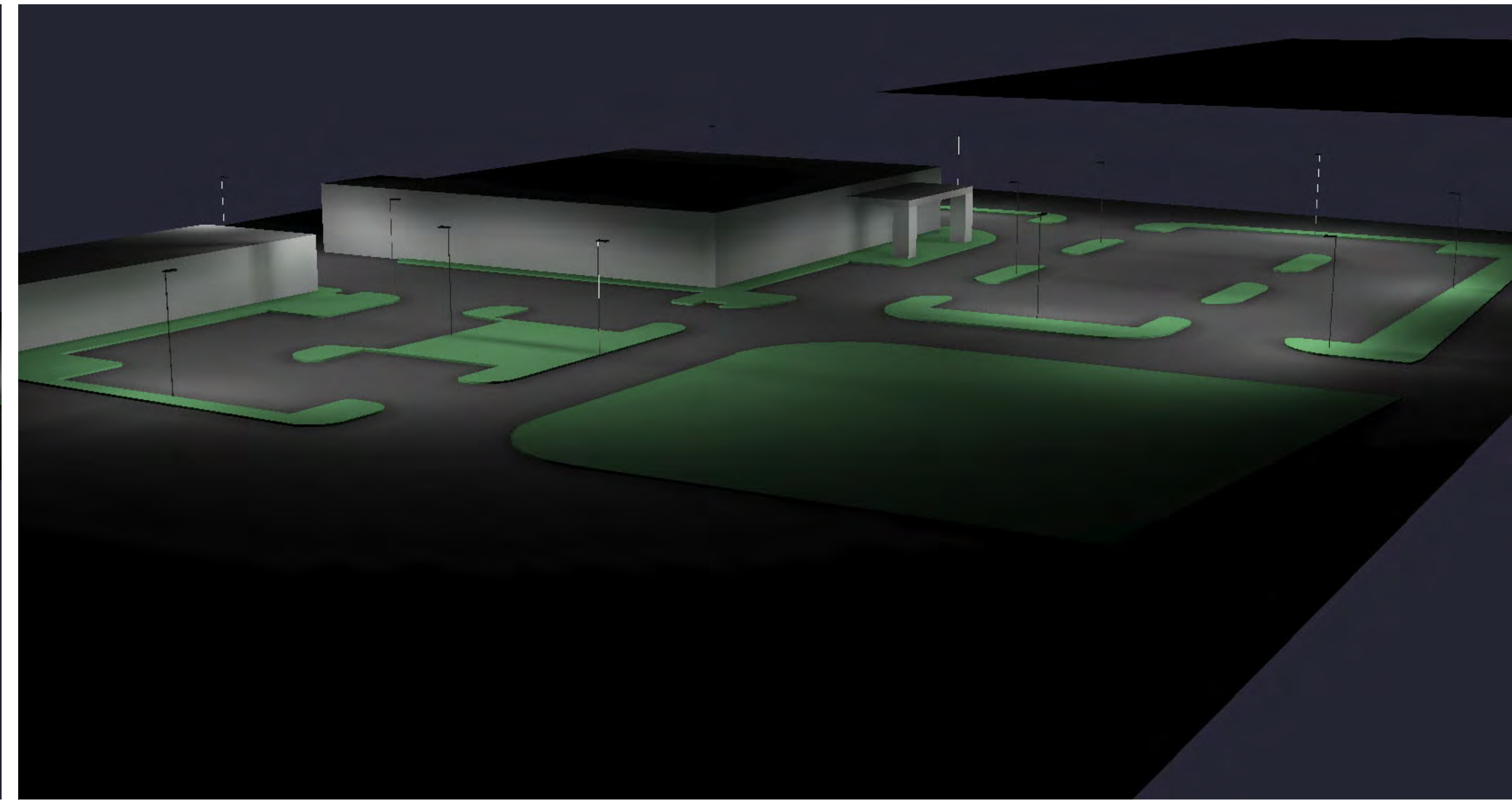
Plan View Grayscale



Plan View Pseudo



Side View



Side View



Head Office
400 S. Record St.
Dallas, TX 75202

Exterior Layout

GROCERY OUTLET
West Roseville, CA

FIXTURE SCHEDULE

Luminaire Schedule									
Qty	Symbol	Label	Arrangement	Description	Lum. Watts	Total Watts	Lum. Lumens	LLF	
1		P2-T3-HS	SINGLE	Area Lighter / Acuity / RSX2 LED P2 40K R3 EGS	114.071	14792	14792	0.850	
5		P2-T5	SINGLE	Area Lighter / Acuity / RSX2 LED P2 40K R5	114.07	570.35	17657	0.850	
7		P3-T3-HS	SINGLE	Area Lighter / Acuity / RSX2 LED P3 40K R3 EGS	149.9762	1049.833	18691	0.850	

STATISTICAL SUMMARY

LPD Area Summary			
Label	Area	Total Watts	LPD
GO West Roseville	258983	1734.254	0.007

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking Lot	Illuminance	Fc	2.44	6.9	0.5	4.88	13.80

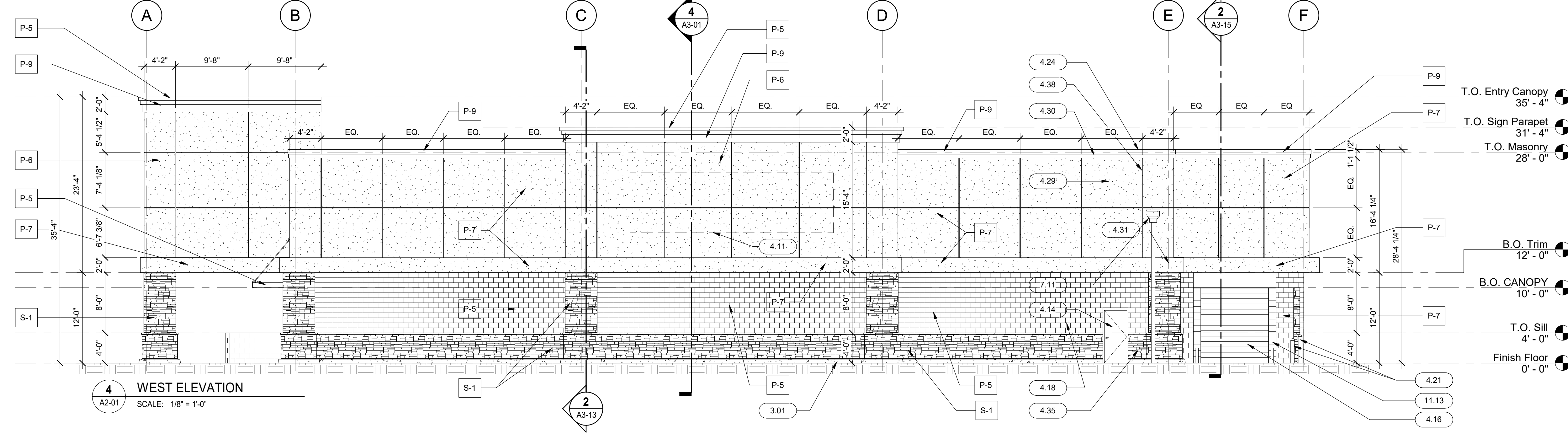
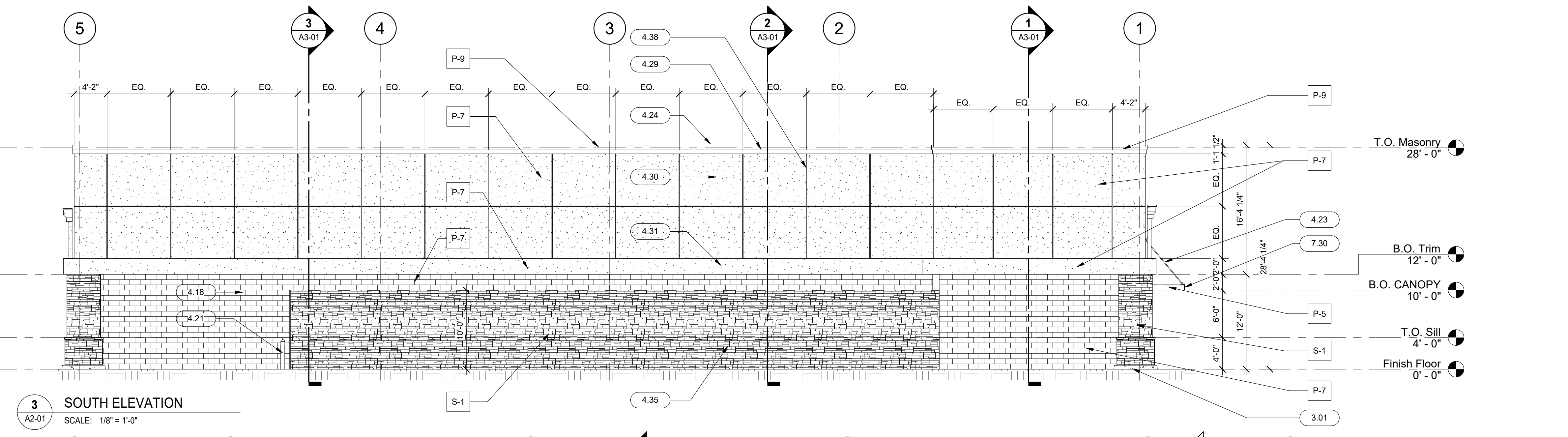
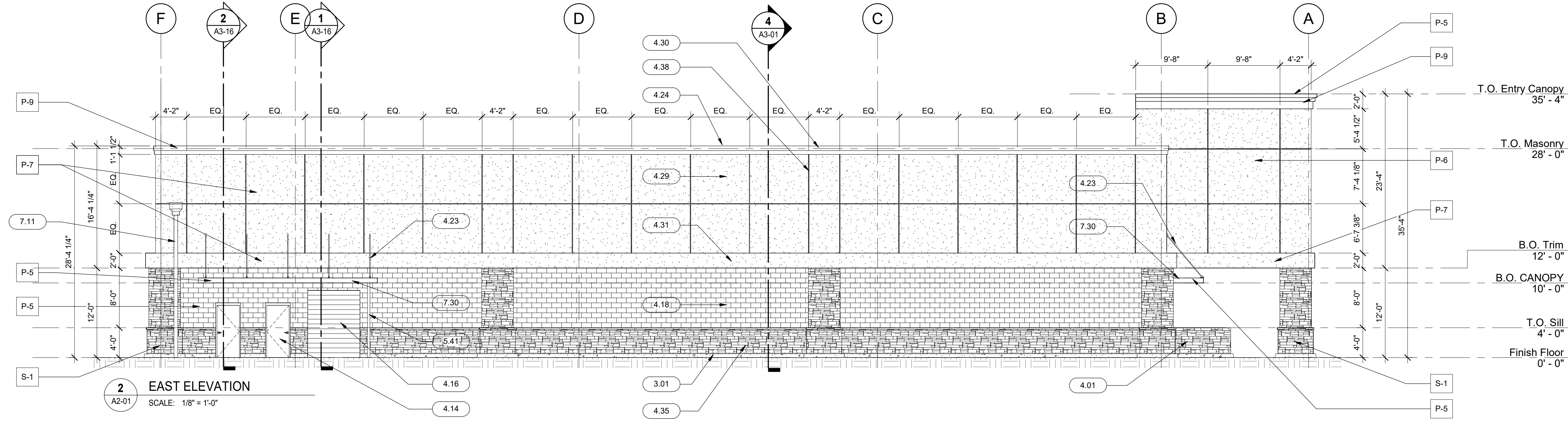
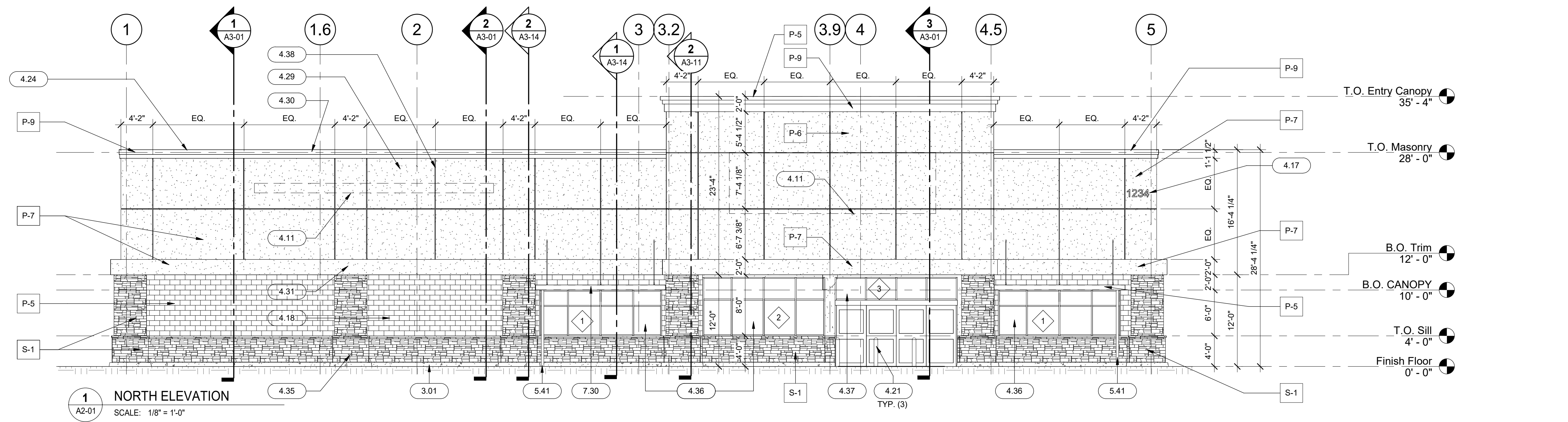
SHEET

CLIENT

ADDRESS

DESIGNER: DW
DATE: 01.06.23
REV: 8
SCALE: 1" = 14'

L03



ELEVATION NOTES	
1.	CEMENT PLASTER FINISH TO BE LIGHT TEXTURE.
2.	ROOF MOUNTED EQUIPMENT - TO BE BY TENANT IN FUTURE TENANT IMPROVEMENT PACKAGE - UNITS SHALL NOT BE VISIBLE FROM GROUND LEVEL OR SHALL BE SCREENED PER JURISDICTION REQUIREMENTS.
3.	REFER TO SHEET A6-01 FOR DOOR AND WINDOW SCHEDULES.

EXTERIOR PAINT SCHEDULE	
MARK	PAINT NAME
P-5	MFR: SHERWIN WILLIAMS, COLOR: "GROCERY OUTLET RED"
P-6	MFR: SHERWIN WILLIAMS, COLOR: "GROCERY OUTLET SHORELINE"
P-7	MFR: SHERWIN WILLIAMS, COLOR: "GROCERY OUTLET GRAY"
P-8	MFR: SHERWIN WILLIAMS, COLOR: "GROCERY OUTLET CHARCOAL"
P-9	MATCH ADJACENT BUILDING COPING COLOR
S-1	CULTURED STONE - BUCKEYE LIMESTONE

KEYNOTES	
3.01	CONCRETE PROTECTION CURB
4.01	4'-0" HIGH, 8" CMU WALL FOR FUTURE EXTERIOR CART CORRAL - PAINT PER SCHEDULE
4.11	EXTERIOR SIGNAGE - PROVIDED BY TENANT UNDER SEPARATE PERMIT, PER ELEVATIONS
4.14	HOLLOW METAL DOOR AND FRAME - PAINT PER SCHEDULE
4.16	ROLL-UP DELIVERY DOOR - PAINT PER SCHEDULE
4.17	BUILDING ADDRESS NUMBERS - TO BE PLACED IN SUCH A MANNER AS TO BE PLAINLY VISIBLE FROM THE STREET. 12" MIN. HIGH CHARACTERS WITH 3/8" MIN. STROKE. ON CONTRASTING BACKGROUND AND ILLUMINATED AS REQUIRED BY LOCAL FIRE JURISDICTION
4.18	EXPOSED CMU - SEAL AND PAINT PER SCHEDULE
4.21	CONCRETE FILLED PIPE BOLLARD - PAINT SAFETY YELLOW
4.23	STEEL SUSPENSION RODS & PLATES - PAINT PER SCHEDULE - REFER TO STRUCTURAL FOR ADDITIONAL INFORMATION
4.24	METAL PARAPET COPING FLASHING - PAINT PER SCHEDULE
4.29	7/8" REINFORCED CEMENT PLASTER - PAINT PER SCHEDULE
4.30	CEMENT PLASTER CORNICE TRIM - PAINT PER SCHEDULE
4.31	CEMENT PLASTER ACCENT CAP (BAND) - PAINT PER SCHEDULE
4.35	ADHERED STONE VENEER - BUCKEYE LIMESTONE BY CULTURED STONE
4.36	STOREFRONT WINDOWS WITH CLEAR ANODIZED ALUMINUM FRAME AND DUAL PANE NON-TINTED GLAZING
4.37	STOREFRONT TRANSOM WINDOWS WITH CLEAR ANODIZED ALUMINUM FRAME AND DUAL PANE NON-TINTED GLAZING
4.38	METAL CONTROL JOINT/REVEAL. PAINT TO MATCH ADJACENT FINISH - REFER TO DETAIL 6/A3-12
5.41	CANOPY DOWNSPOUT CONNECTED UNDER SIDEWALK DRAIN ROOF SCUPPERS WITH EXTERIOR LEADER. SEE DETAIL ON THIS SHEET FOR MORE INFORMATION. OVERFLOW SCUPPER TO BE LOCATED 2'-0" AWAY FROM PRIMARY SCUPPER, MIN. 4" ABOVE ROOF LEVEL.
7.11	CANOPY - CONNECT DOWNSPOUT TO UNDER SIDEWALK DRAIN. REFER TO CIVIL
7.30	DOCK SEAL. REFER TO LOADING DOCK EQUIPMENT SCHEDULE ON SHEET A6-01

DATE	ISSUED FOR	REV
2022.11.29	50% REVIEW	
2022.12.16	90% REVIEW	
2023.01.13	ENTITLEMENT CYCLE 2	
2023.02.10	ENTITLEMENT CYCLE 3	

This drawing has been prepared solely for the use of Peter Bollinger Investment and there are no representations of any kind made by NORR to any party with whom NORR has not entered into a contract.

This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.

Project Component
BUILDING SHELL

CLIENT
INTER-CAL REAL ESTATE CORPORATION

Consultants	
Survey:	N/A
Civil:	MORTON & PITALO, INC.
Architecture:	NORR
Structural:	VLMK
Mechanical:	COOLSYS
Electrical:	COOLSYS
Interiors:	N/A
Landscape:	

Seal(s)

150 W. Jefferson Avenue, Suite 1300
Detroit, MI, US 48226
nor.com

Project Manager	Drawn
D. GAROFALO	D. WILSON
Project Leader	Checked
R. AVILA	M. VON WERDER

Client
Peter Bollinger Investment

Project
West Roseville Retail Centers

1751 Pleasant Grove Blvd.
West Roseville CA 95747

Drawing Title
EXTERIOR ELEVATIONS

Scale
As indicated

Project No.
JCDT21-0477

Drawing No.
A2-01

West Roseville Retail Center





GENERAL STRUCTURAL NOTES

- BASIS FOR DESIGN**
- BUILDING CODE: CALIFORNIA BUILDING CODE 2019
 - SOIL PARAMETERS:
ACTIVE PRESSURE: 45 PCF
SOIL WEIGHT: 120 PCF
SOIL BEARING CAPACITY: 2000 PCF
PASSIVE PRESSURE: 300 PCF
FRICTION COEFFICIENT: 0.30
 - SEISMIC DESIGN:
RISK CATEGORY: 1
SEISMIC IMPORTANCE FACTOR, I: 1.0
SITE CLASS: S1 (0.2 SECOND)
SS (1.0 SECOND): 0.433
SS (1.0 SECOND): 0.220
SS (SHORT PERIOD): 0.500
SD1 (1-SECOND PERIOD): 0.317
SEISMIC DESIGN CATEGORY: D
R, GROUND SUPPORTED FENCE: 1.25
 - WIND DESIGN:
WIND SPEED: 91 MPH
RISK CATEGORY: 1
EXTERIOR PRESSURE COEFFICIENT (C_e): 1.3
WIND EXPOSURE: C
 - FOUNDATION DESIGN AND SOIL PARAMETERS PER RECOMMENDATIONS BY WALLACE, KOHL & ASSOC., NO. 115202, DATED FEBRUARY 23, 2018 & UPDATE LETTER DATED JULY 9, 2021

GENERAL REQUIREMENTS

- THESE DOCUMENTS HAVE BEEN PREPARED USING STANDARDS OF PROFESSIONAL CARE AND SKILL ORDINARILY EXERCISED UNDER SIMILAR CONDITIONS BY PROFESSIONAL CONSULTANTS PRACTICING IN THE SAME FIELD AT THE SAME TIME IN THE SAME OR SIMILAR LOCALITY. THEY ASSUME THAT THE WORK DEPICTED WILL BE PERFORMED BY AN EXPERIENCED CONTRACTOR AND/OR WORKMEN WHO HAVE A WORKING KNOWLEDGE OF THE APPLICABLE CODE STANDARDS AND REQUIREMENTS AND INDUSTRY ACCEPTED STANDARD GOOD PRACTICE, AS NOT EVERY CONDITION OR ELEMENT IS (OR CAN BE) EXPLICITLY SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL USE INDUSTRY ACCEPTED STANDARD GOOD PRACTICE FOR MISCELLANEOUS WORK NOT EXPPLICITLY SHOWN.
 - ENGINEER SHALL NOT AT ANY TIME SUPERVISE, DIRECT OR HAVE CONTROL OVER CONTRACTOR'S WORK, NOR SHALL ENGINEER HAVE AUTHORITY OVER OR RESPONSIBILITY FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES OF CONSTRUCTION SELECTED OR USED BY CONTRACTOR, FOR SECURITY OR SAFETY AT THE SITE NOR FOR SAFETY PRECAUTIONS AND PROGRAMS INCIDENT TO CONTRACTOR'S WORK.
 - ALL INSPECTIONS REQUIRED BY THE LOCAL BUILDING DEPARTMENTS, BUILDING CODES OR BY THE CONTRACTOR SHALL BE PROVIDED BY THE BUILDING DEPARTMENT OR BY AN APPROVED INDEPENDENT INSPECTION COMPANY.
 - ALTHOUGH NOT NECESSARILY INDICATED AT A SPECIFIC LOCATION ON THE DRAWINGS, TYPICAL DETAILS AND NOTES SHALL APPLY. DETAILS MAY SHOW ONLY ONE SIDE OF CONNECTION OR MAY OMIT INFORMATION FOR CLARITY.
 - WHERE REFERENCE IS MADE TO VARIOUS TEST STANDARDS FOR MATERIALS, SUCH REFERENCE SHALL BE THE LATEST EDITION OR ADDENDA.
 - RETAINING WALLS SHALL NOT BE SURCHARGED OR USED IN A STACKED CONFIGURATION, UNLESS OTHERWISE PROVIDED IN PLANS/DETAILS. A NON-SURCHARGED/NON-STACKED CONFIGURATION EXISTS WHEN UPPER STRUCTURES ARE A MIN DISTANCE OF (1.5) * MAX RETAINED HEIGHT AWAY, MEASURED FROM BACK FACE OF RETAINING WALL, UNLESS DEFINED OTHERWISE BY APPROVED GEOTECHNICAL REPORT.
- FOUNDATION**
- SITE PREPARATION AND GRADING REQUIREMENTS FROM THE GEOTECHNICAL REPORT AND ANY ADDENDA ALONG W/ ANY TESTS, INSPECTIONS, FIELD OBSERVATIONS, OR APPROVAL FROM THE GEOTECHNICAL ENGINEER RECOMMENDED BY THE GEOTECHNICAL REPORT SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF FOUNDATIONS. IF NO GEOTECHNICAL REPORT IS SUBMITTED, SITE PREPARATION AND GRADING SHALL BE PER CBC SECTION 1804.
 - W/IN THE TIME OF CONSTRUCTION AND W/IN THE LIFETIME OF THE WALL, THE OWNER MUST ENSURE THAT ALL SURFICIAL DRAINAGE IS DIRECTED AWAY FROM THE WALL SYSTEM.
 - FOUNDATION INSPECTION PRIOR TO PLACEMENT OF CONCRETE INCLUDES: FOOTING STEEL LOCATION AT GRADE, AND SIZE/DEPTH AND CLEANLINESS OF FOUNDATION. ADDITIONAL SPECIAL INSPECTION AS REQUIRED BY JURISDICTION.
 - FOOTING SHALL BE LEVEL, STEP FOOTING, AS REQD, WHERE GROUND SLOPES. HEIGHT OF STEP SHALL BE EQUAL TO HEIGHT OF CMU COURSE.
- CONCRETE**
- MINIMUM 28 DAY COMPRESSIVE STRENGTH OF CONCRETE (F_c) SHALL BE 2500 PSI (UNLESS HIGHER STRENGTH REQD PER APPROVED GEOTECHNICAL REPORT). CONCRETE MIX SHALL BE DESIGNED BY AN APPROVED LABORATORY. CONCRETE SHALL BE NORMAL WEIGHT OF 145 PCF USING HARD ROCK AGGREGATES CONFORMING TO ASTM C33.
 - MAXIMUM SLUMP SHALL BE 5 INCHES. WATER SHALL BE CLEAN AND POTABLE.
 - USE TYPE V PORTLAND CEMENT, AS REQ'D BY OWNER, JURISDICTION, OR SOILS ENGINEER, CONFORMING TO ASTM C150.
 - A MAXIMUM OF 90 MINUTES MAY ELAPSE BETWEEN CONCRETE AND/OR GROUT Batching AND FIELD PLACEMENT.
 - CONCRETE QUALITY, MIXING, WEATHER PROTECTION AND PLACING SHALL CONFORM TO CBC SECTION 1805.
- BACKFILL**
- BACKFILL MATERIAL AND PLACEMENT SHALL BE IN ACCORDANCE W/ RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER OR CBC SECTION 1804 IF GEOTECHNICAL REPORT NOT SUBMITTED.
 - BACKFILL SHALL NOT BE PLACED AGAINST WALLS BELOW GRADE OR ATOP FOUNDATIONS UNTI GROUT AND CONCRETE HAVE REACHED DESIGN STRENGTH.
 - RETAINING WALL SYSTEM IS NOT DESIGNED TO WITHSTAND HYDROSTATIC PRESSURE. DRAINAGE SYSTEM SHALL BE PROVIDED TO PREVENT BUILD UP OF HYDROSTATIC PRESSURE. IN ADDITION, DRAINAGE SYSTEM SHALL NOT ADVERSELY AFFECT THE INTEGRITY OF THE RETAINING SYSTEM.

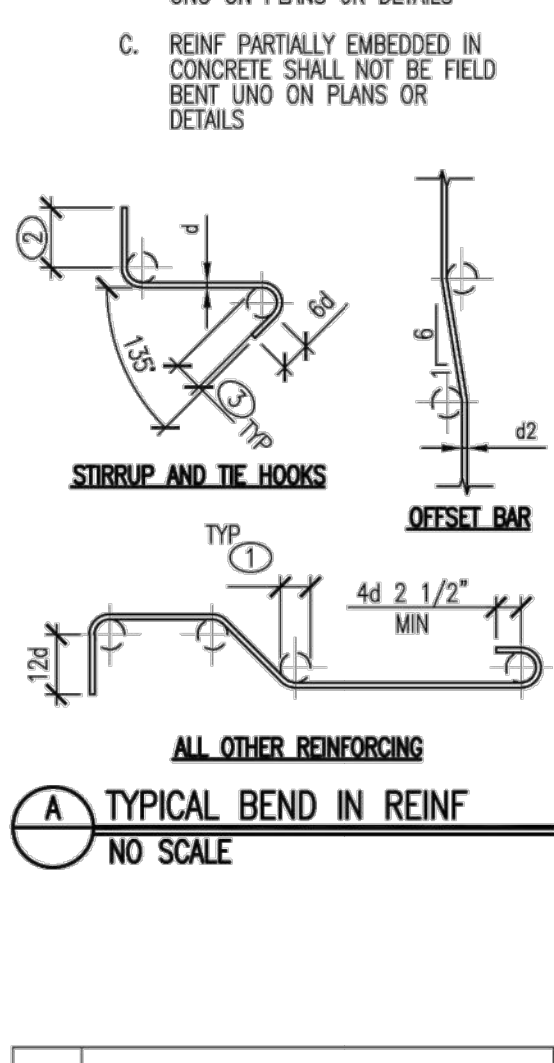
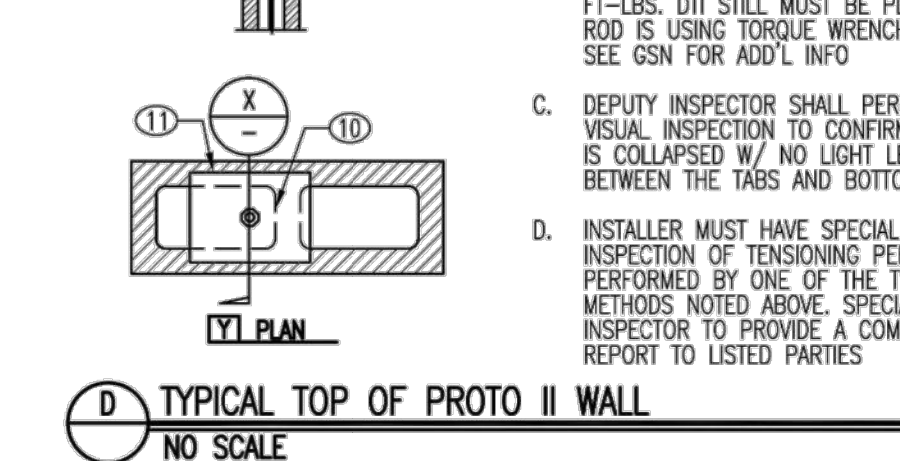
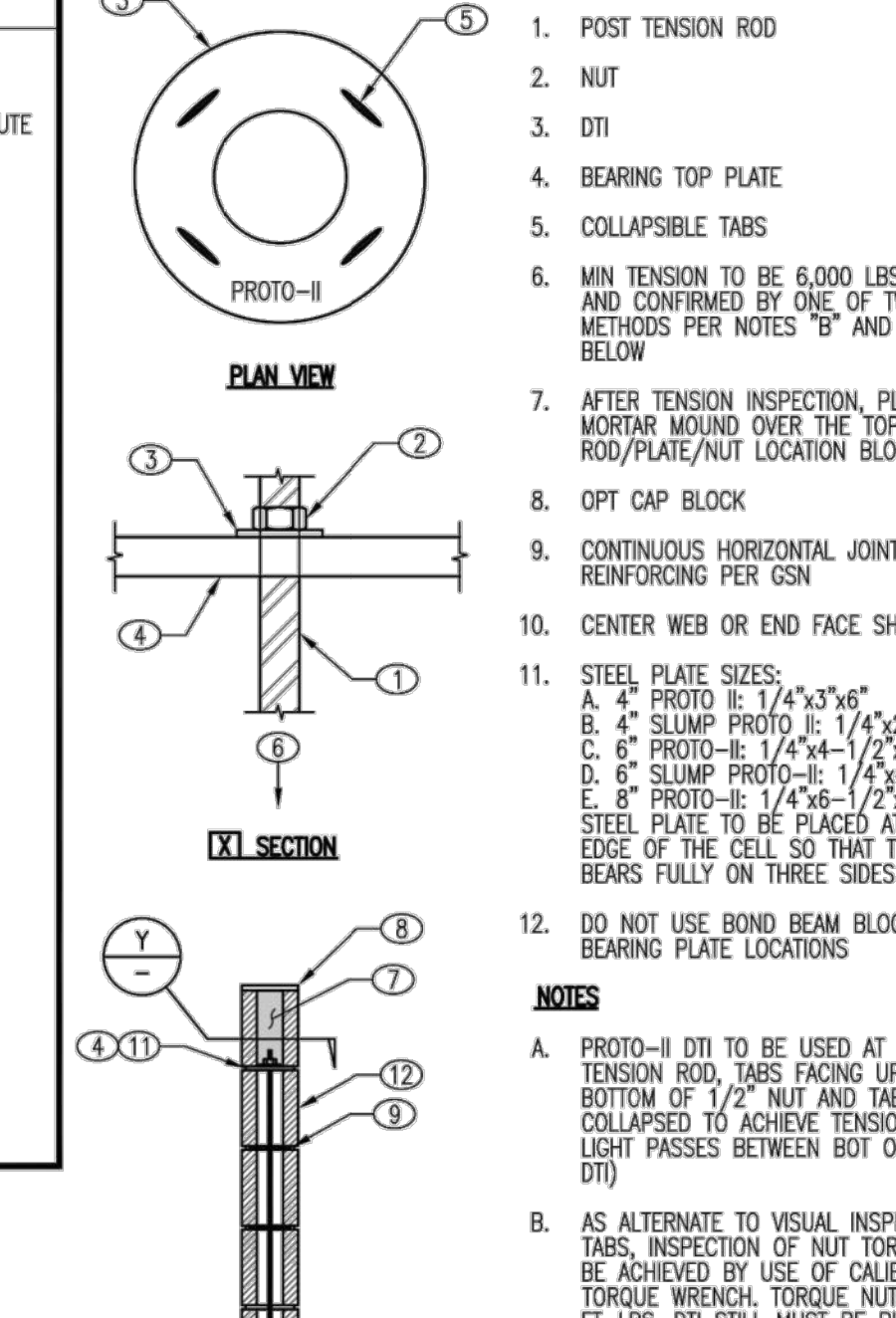
- REINFORCING**
- REINFORCING STEEL SHALL CONFORM TO ASTM A618. WELDING REINFORCING STEEL SHALL CONFORM TO ASTM A706. REINFORCING SHALL BE GRADE 60.
 - LATEST ACI DETAILING MANUAL, ACI 318 AND CRSI MANUAL OF STANDARD PRACTICE APPLY TO REINFORCEMENT SPLICING, DETAILING, BENDING, AND PLACEMENT.
 - REFER TO TYPICAL WALL INTERSECTION DETAIL FOR REINFORCING REQUIREMENTS AT WALL AND FOOTING INTERSECTIONS.
 - REFER TO LAP SCHEDULE FOR MINIMUM O.C. SPACING, LAP SPLY LENGTHS IN CONCRETE AND MASONRY, AND HOOK LENGTHS. NO WELDING (TACK, SPOT ETC.) OF REINFORCING ALLOWED. STAGGER SPLICES A MINIMUM OF (1) LAP LENGTH.
 - ALL REINFORCEMENT SHALL BE BENT COLD. NO FIELD BENDING OF BARS IS ALLOWED UNLESS APPROVED BY THE ENGINEER.
 - SUPPORT REINFORCEMENT ADEQUATELY TO SECURE REINFORCEMENT AGAINST DISPLACEMENT DURING CONCRETE PLACEMENT IN THE FOOTING AND GROUT PLACEMENT IN THE CMU.
 - PROVIDE VERTICAL REINFORCING BARS, W/ HOOKS INTO FOOTING PER APPLICABLE DETAIL SECTION, IN GROUTED CELLS AT ALL WALL INTERSECTIONS, CORNERS, WALL ENDS, AND EACH SIDE OF CONTROL JOINTS. EXTEND ALL VERTICAL REINFORCING TO FOUNDATION EITHER CONTINUOUS OR WITH SUFFICIENT LAP REQUIREMENTS, AS INDICATED PER APPLICABLE DETAIL SECTIONS.
 - HORIZONTAL REINFORCING SHALL BE 9 GAGE DIAMETER WIRE AND CONFORM TO ASTM A82 LADDER TYPE, 9 GAGE DIAMETER LAP JOINT REINFORCING ONE FULL CROSS SQUARE (6" MINIMUM LAP). HORIZONTAL REINFORCING SHALL BE HOT-DIPPED GALVANIZED OR APPROVED EQUIVALENT.

CONVENTIONAL MASONRY

- HOLLOW, MEDIUM-WEIGHT, LOAD BEARING PRECISION CONCRETE MASONRY UNITS (CMU) SHALL CONFORM TO ASTM C 90. MINIMUM COMPRESSIVE STRENGTH OF CMU SHALL BE 2000 PSI. ALL BLOCKS SHALL BE PLACED IN RUNNING BOND CONSTRUCTION (UNO W/ ALL VERTICAL CELLS IN ALIGNMENT. MIN UNIT HEIGHT SHALL BE 4" OR GREATER.
 - GROUT SHALL CONFORM TO ASTM C476. MINIMUM GROUT COMpressive STRENGTH EQUALS OR EXCEEDS 1 M BUT NOT LESS THAN 2000 PSI. HOLD DOWN GROUT 1-1/2" BELOW TOP OF BLOCK AT GROUT LIFT JOINTS.
 - MORTAR SHALL CONFORM TO ASTM C270 & CBC 2103, TYPE S, 2000 PSI MIN. MORTAR MUST BE A MIN OF 4 HOURS OLD PRIOR TO INITIAL TENSIONING.
 - NET AREA COMPRESSIVE STRENGTH OF MASONRY SHALL BE (FM) 2000 PSI MIN, PER THE UNIT STRENGTH METHOD.
 - THICKNESS OF BED JOINTS SHALL NOT EXCEED 5/8".
 - GROUT SOLID ALL REBAR REINFORCED CELLS AND ALL CELLS BELOW GRADE UNO.
 - MASONRY CONSTRUCTION, INCLUDING BUT NOT LIMITED TO PREPARATION, ERECTION, REINFORCEMENT INSTALLATION AND GROUT PLACEMENT SHALL COMPLY WITH CBC SECTION 2104 AND W/ ACI 530.1.
 - DAMPPOOF ALL CMU IN CONTACT W/ SOIL PER CBC SECTION 1805.
 - TONGUE & GROOVE CMU MAY BE USED AT FENCE WALLS.
 - VERTICAL CONTROL JOINTS TO BE PLACED AT 20'-0" O.C. PER TYP DETAIL.
- PROTO-II**
- PROTO II HARDWARE IS DEFINED AS: TENSION RODS, BEARING PLATES, COUPLERS, NUTS, W/ LOCKWASHERS, DTI, PLASTIC SADDLES, ALL OF THIS HARDWARE SHALL BE SUPPLIED BY ONLY AN APPROVED PROTO II INSTALLER TO THE CERTIFIED INSTALLER. POST TENSION RODS SHALL BE 7/16" DIAMETER W/ 1/2" ROLL, THREADS CONFORMING TO ASTM A641 (F_y=60 KSI) AND HAVE STEEL CHEMISTRY SO THAT BENDING AND THREADING CAN BE ACCOMPLISHED W/OUT DAMAGE TO THE POST TENSION ROD. AREA OF TENSION RODS=1503 SQ IN. BEARING PLATES ARE 1/4" THICK (F_y=50 KSI). SEE DETAIL TYPICAL TOP OF PROTO II WALL FOR WIDTHS. 1/2" COUPLERS SHALL BE PER ASTM A563 GRADE A, AND THE COUPLER NUT MUST FULLY ENGAGE THE UPPER AND LOWER ROD, FULLY ENGAGED AS DEFINED AS 1/2" MIN INTO COUPLER. 1/2" NUTS ARE TO BE GRADE 6 PER ASTM A325. 1/2" ALL THREADS PER ASTM A307, GRADE 60. DTI IS MFR'D ASTM F896 PLASTIC REBAR SADDLES ARE NON-STRUCTURAL.
 - PROVIDE CONT FULL HEIGHT RODS W/ MIN OF 3" L" HOOK W/ 1/2" NUT AT END OF TENSION ROD INTO FOOTING PER APPLICABLE DETAIL SECTION AND AT CONTROL JOINTS PER TYP DETAIL. CONTRACTOR'S OPTION RODS MAY BE STABBED INTO WET CONCRETE OR TIED INTO PLACE.
 - IN LIEU OF FULL HEIGHT RODS, CONTRACTOR MAY USE SHORTER RODS, 1/2" COUPLERS AND STRAIGHT RODS THROUGH BOTH ENDS FOR ADDITIONAL STRENGTH. NO COUPLERS MAY OCCUR DIRECTLY BELOW AND IN CONTACT W/ THE BEARING PLATE. NO BOND BEAM BLOCK MAY BE USED AT PLATE/TENSION LOCATOR.
 - A PROTO II DTI SHALL BE INSTALLED AT EVERY TENSION BETWEEN THE BEARING PLATE AND NUT W/ THE DTI TABS FACING UP AGAINST THE BOTTOM OF THE NUT. THE SPECIAL DEPUTY INSPECTION REQUIRED AT THE TIME OF FINAL TENSIONING BY A DEPUTY INSPECTOR SHALL VERIFY FINAL TENSIONING TO 6,000 LBS BY 1 OF 2 METHODS: METHOD 1: VISUAL INSPECTION OF DTI TABS FACING UP AND COLLAPSED AGAINST NUT W/ NO LIGHT LEAKAGE BETWEEN THE PROTO II DTI AND BOTTOM OF NUT; METHOD 2: USE OF A CALIBRATED TORQUE WRENCH TORQUED TO 55 FT-LBS. DTI MUST STILL BE PLACED WITH METHOD 2. NO VISUAL INSPECTION OF DTI REQUIRED WHEN USING METHOD 2. INSPECTOR SHALL OBSERVE THE USE OF THREAD LUBRICANT, THE POSITION OF PLATE ON BLOCK, AND INTEGRITY OF MORTAR JOINTS. IN ADDITION, THE INSTALLER SHALL PROVIDE A SIGNED REPORT TO ALL APPROPRIATE PARTIES. PROTO II MASONRY DESIGN IS BASED ON THIS SPECIAL INSPECTION.
 - VERTICAL CONTROL JOINTS TO BE PLACED AT MAX 36'-0" O.C. IN ALL NON-STUCCOED WALLS AND 20'-0" O.C. IN STUCCOED WALLS W/ CLEAN VERTICAL BREAK OF ALL MATERIALS.
 - CONCRETE AT FOOTING SHALL BE A MIN OF 48 HOURS OLD, CMU BLOCK SHALL BE A MIN OF 7 DAYS OLD, & MORTAR SHALL BE A MIN OF 24 HRS OLD PRIOR TO FINAL TENSIONING.

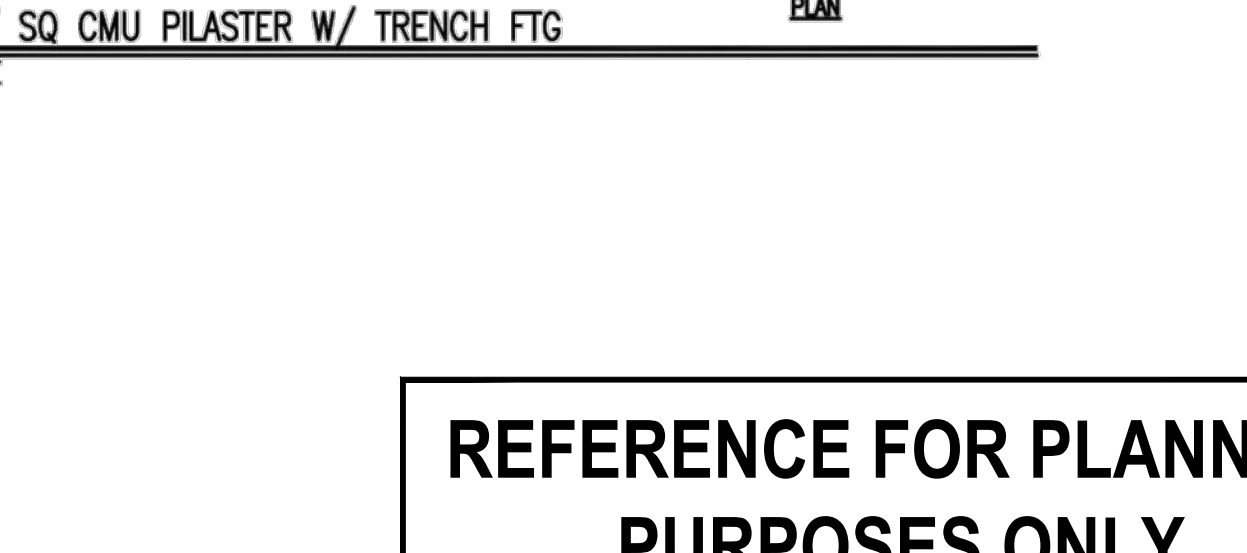
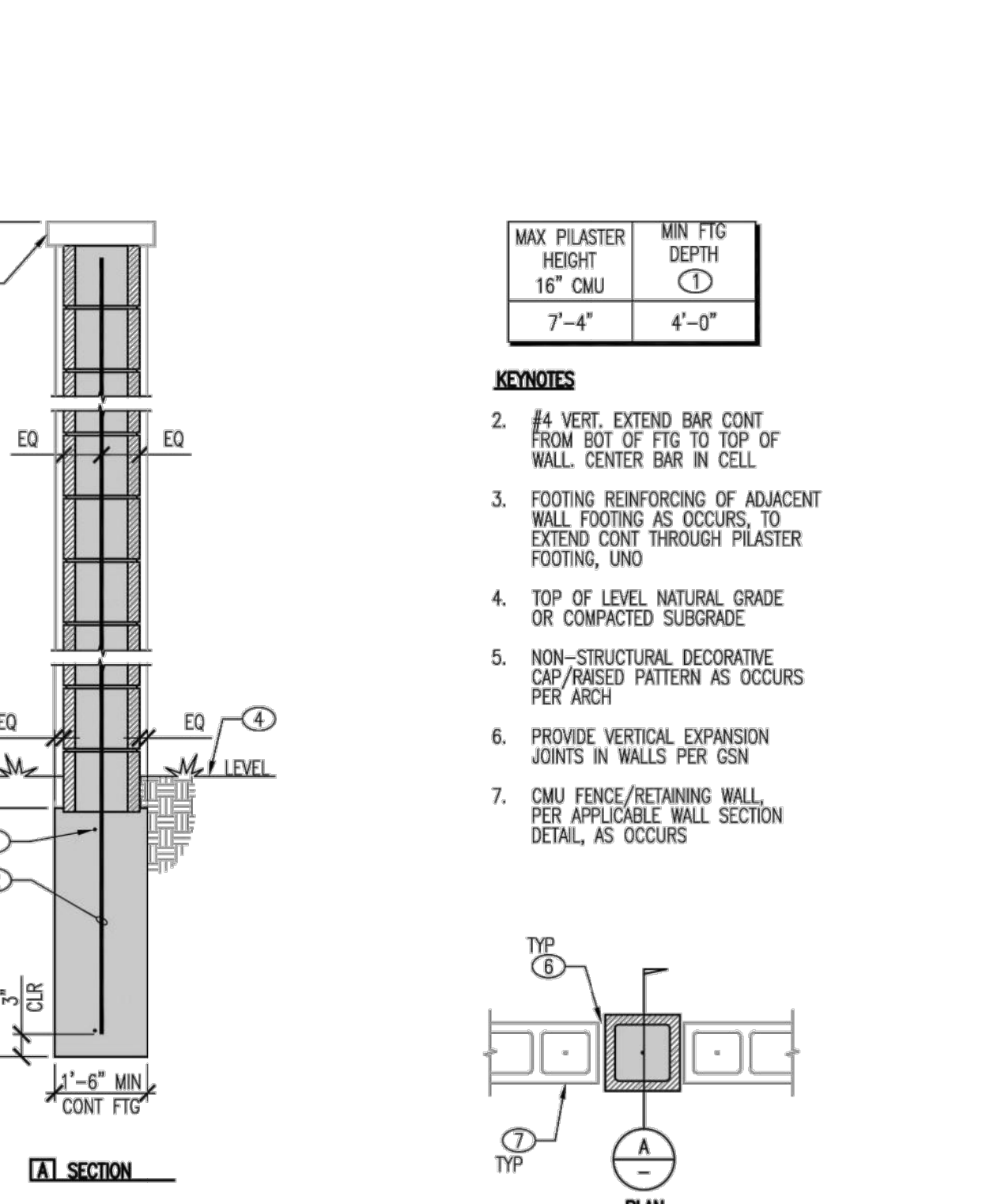
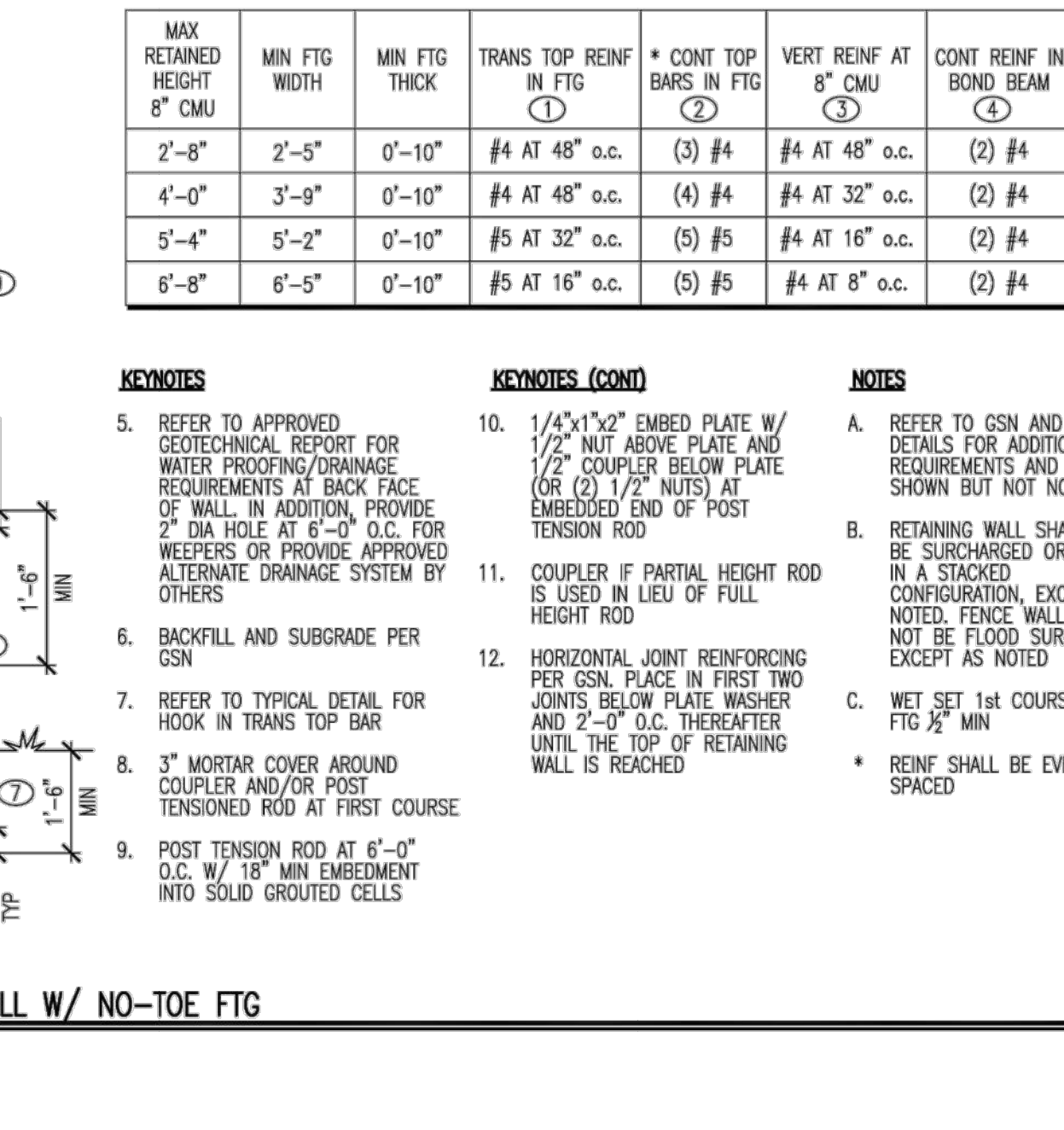
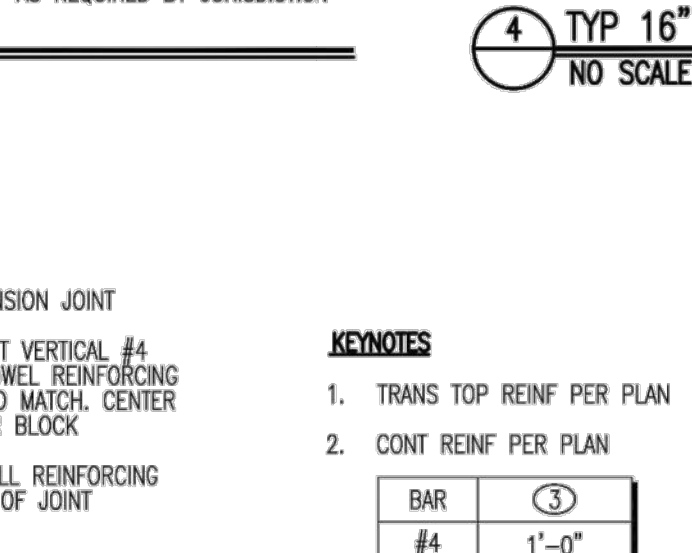
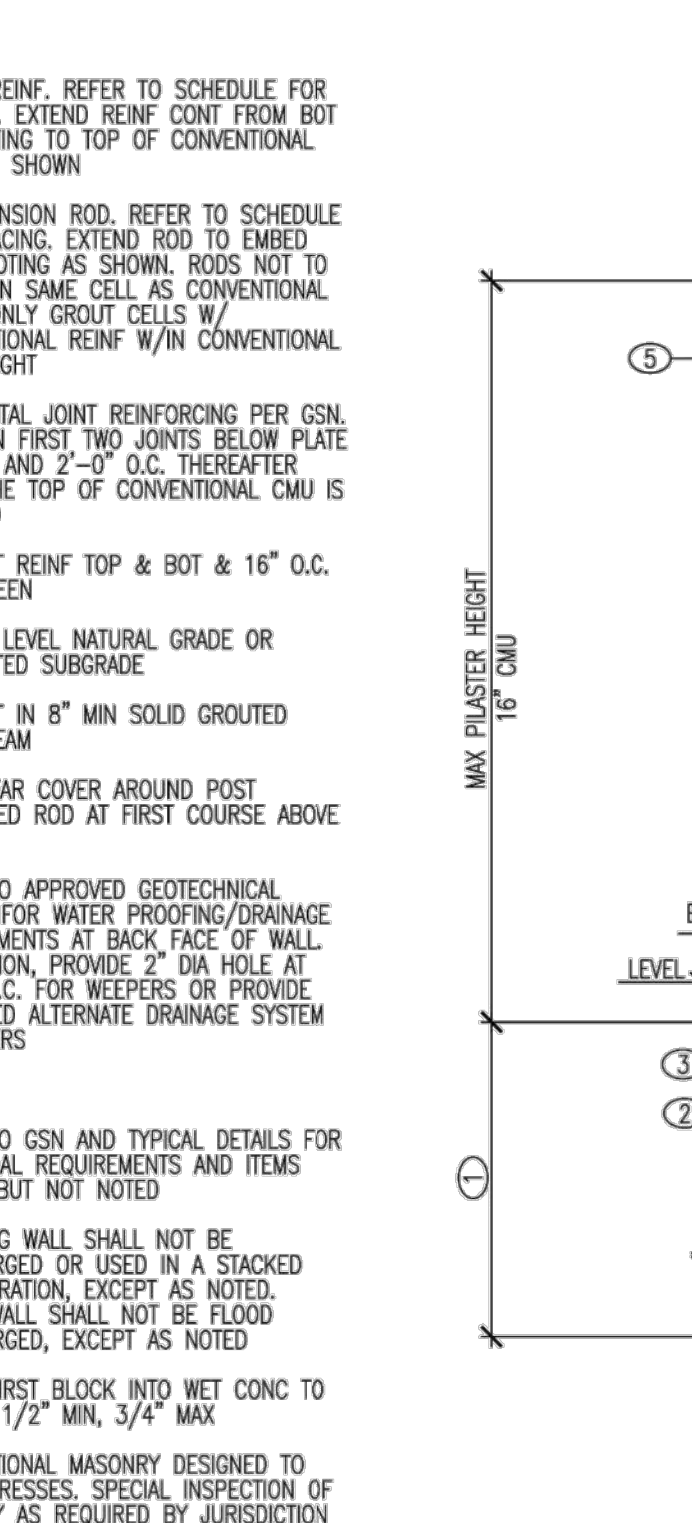
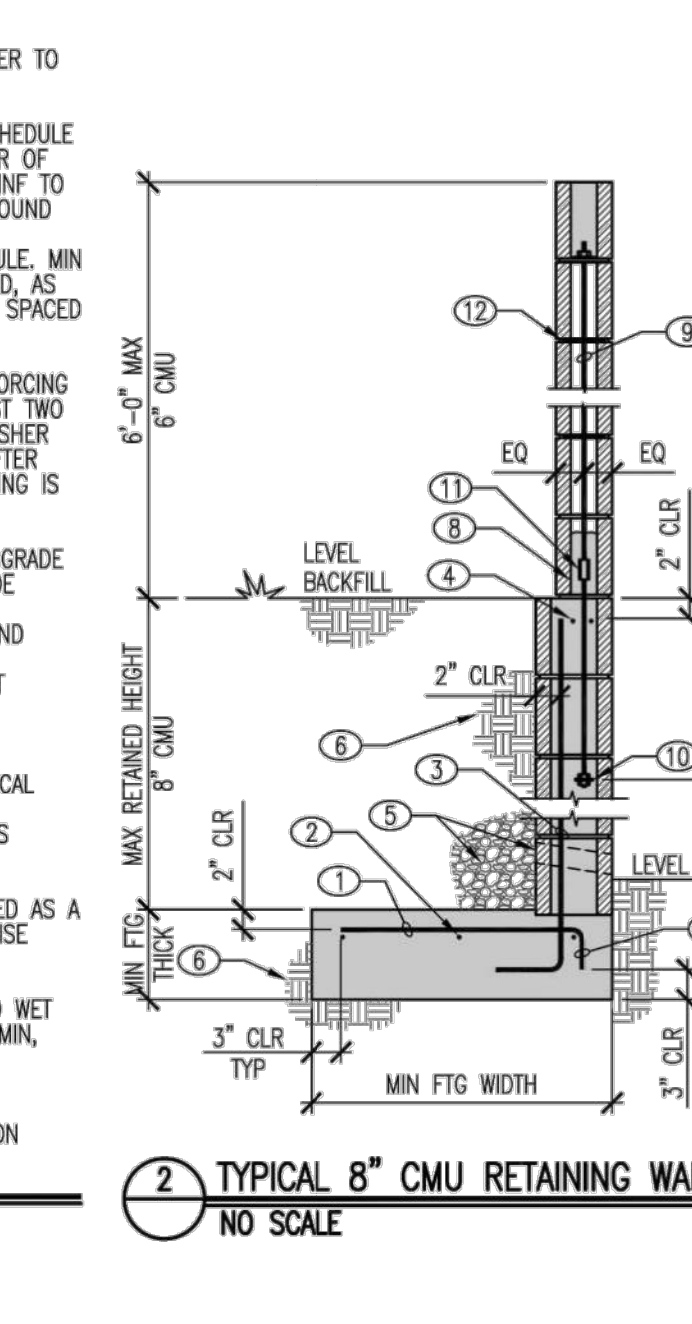
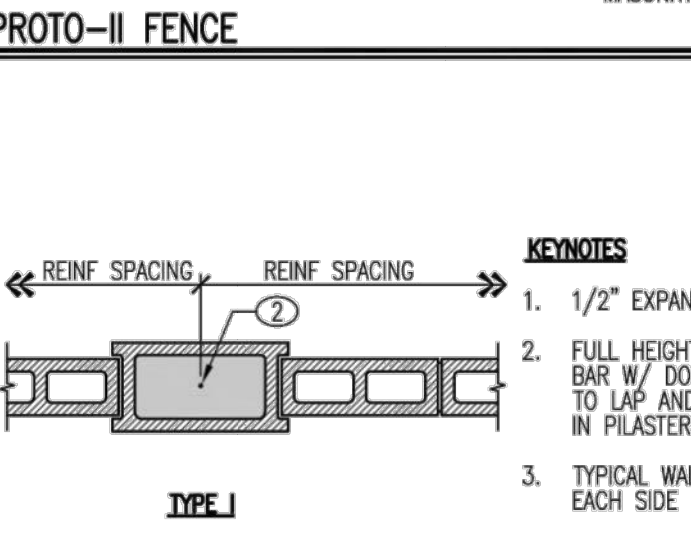
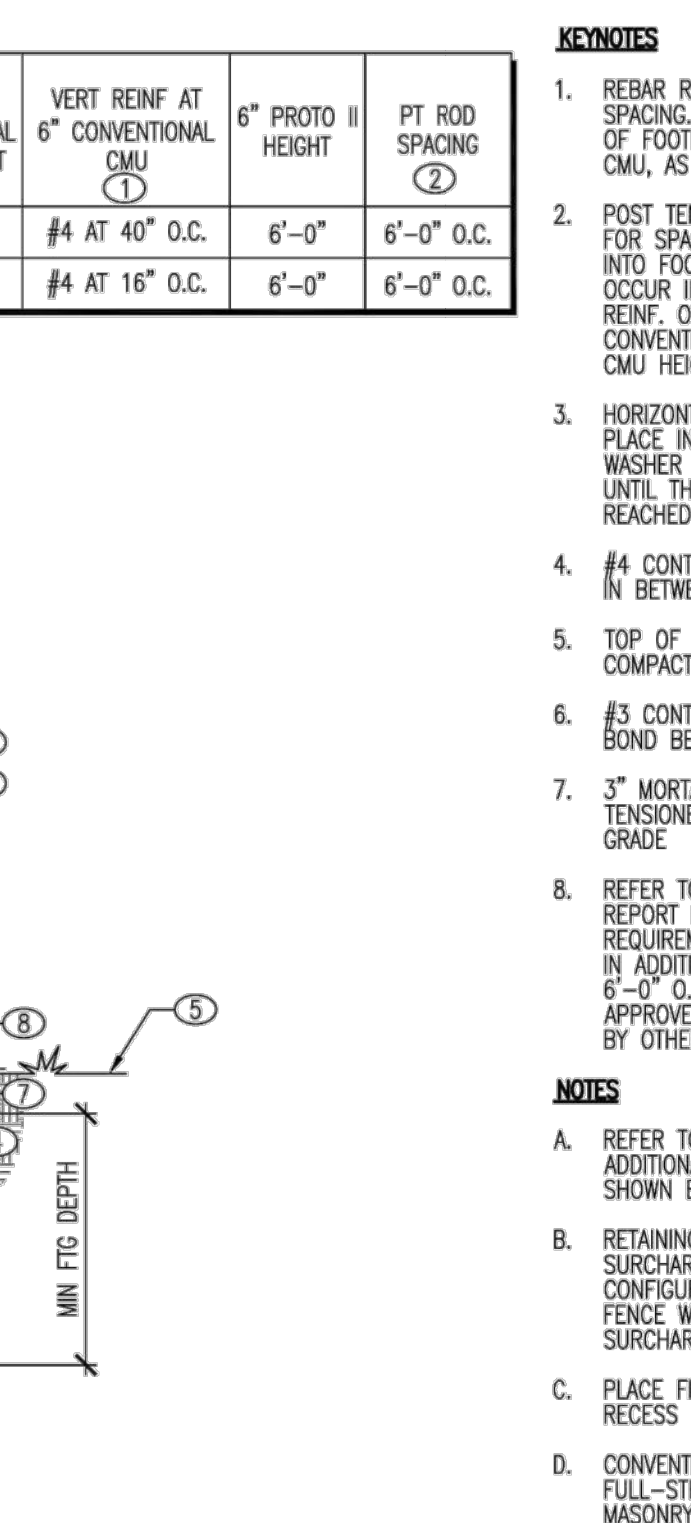
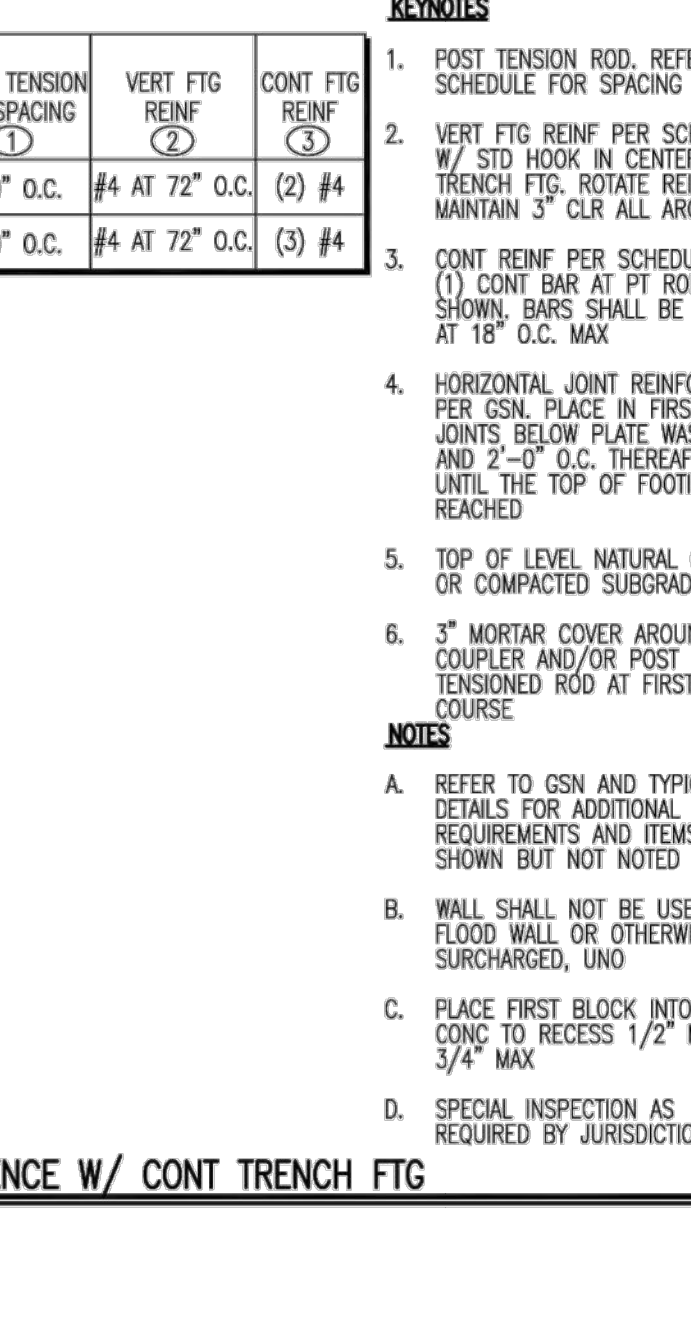
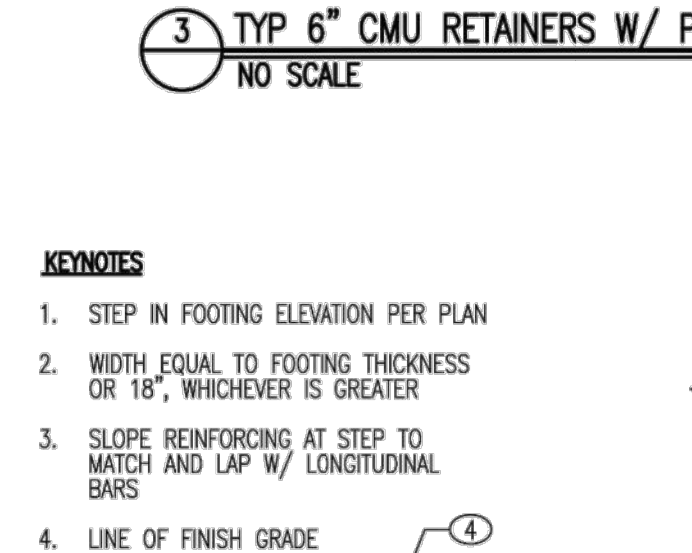
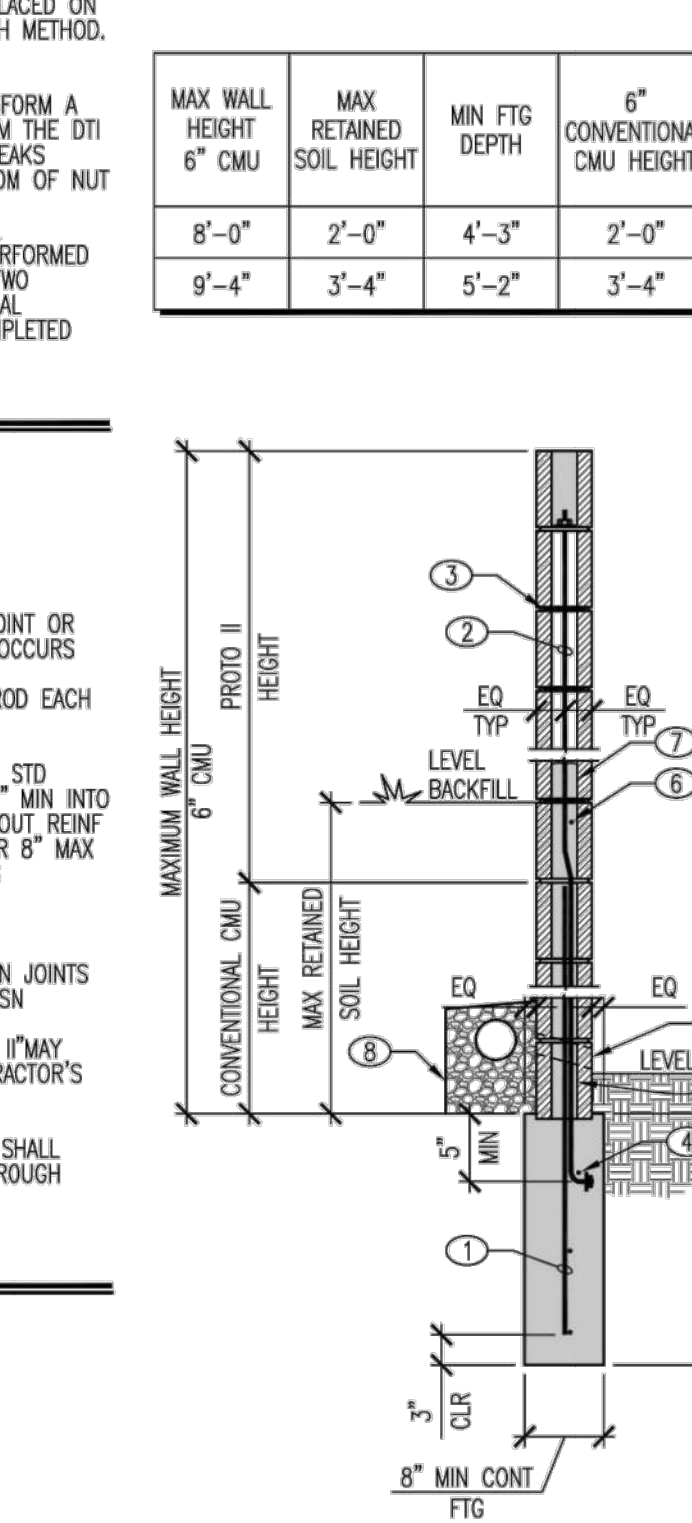
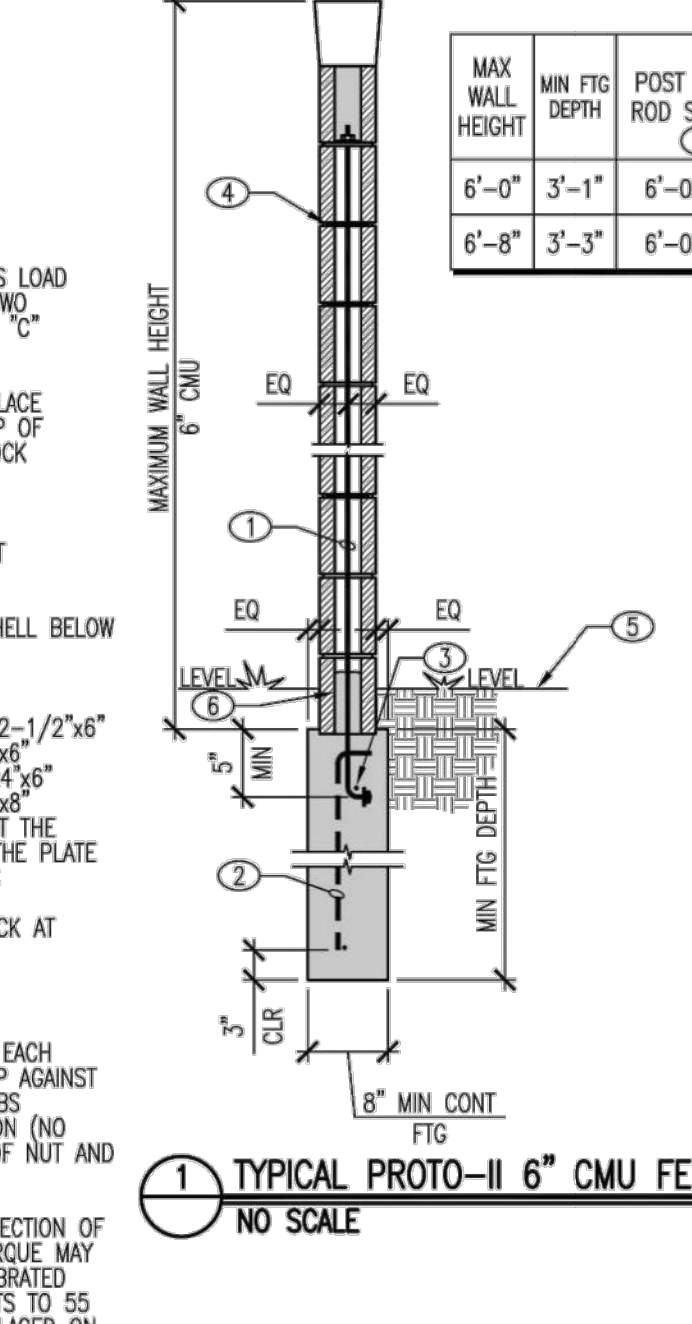
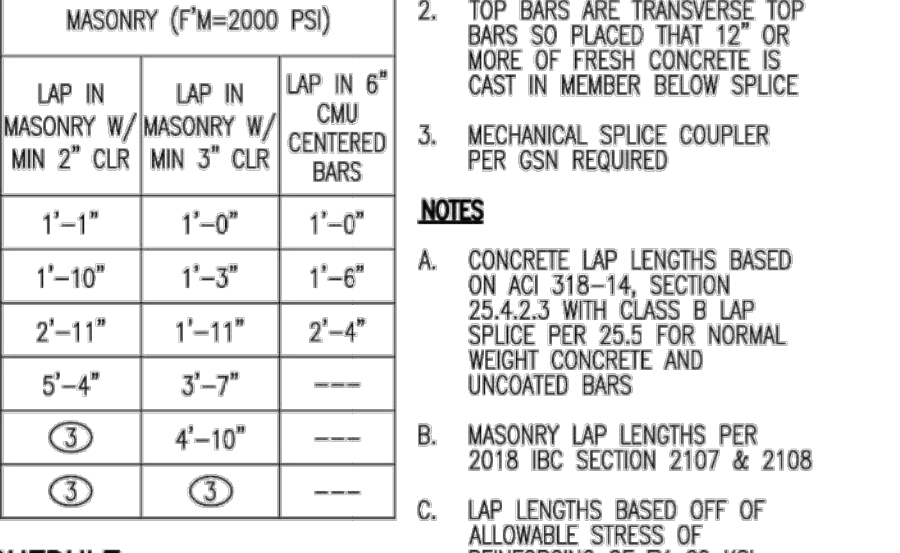
STANDARD ABBREVIATIONS

ACI	AMERICAN CONCRETE INSTITUTE
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE
ALT	ALTERNATE
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
CBC	CALIFORNIA BUILDING CODE
CL	CENTERLINE
CMU	CONCRETE MASONRY UNIT
COC	CONCRETE
CONC	CONCRETE
CONT	CONTINUOUS
DA	DIAMETER
DI	DIRECT TENSION INDICATOR
EQ	EQUAL
EW	EACH WAY
FT	FOOTING
FTG	FOOTING
GSN	GENERAL STRUCTURAL NOTES
ICC	INTERNATIONAL CODE COUNCIL INFORMATION
INFO	INFORMATION
MFR	MANUFACTURER
MAX	MAXIMUM
MIN	MINIMUM
MISC	MISCELLANEOUS
NIS	NOT TO SCALE
O.C.	ON-CENTER
P-F	POUNDS PER LINEAR FOOT
PF	POUNDS PER SQUARE FOOT
PSF	POUNDS PER SQUARE INCH
REF	REQUIRED
REQ'D	REQUIRED
SIM	SIMILAR
SPEC	SPECIFICATION
SO	SQUARE
STD	STANDARD
T&B	TOP AND BOTTOM TRANSVERSE
TRANS	TRANSVERSE
UNTYP	UNLESS NOTED OTHERWISE
UNO	VERTICAL
W/	WITH
W/O	WITHOUT



TYPICAL REINFORCING LAP SCHEDULE

BAR SIZE	CONCRETE (F _c =2500 PSI)		MASONRY (F _m =2000 PSI)		
	90-DEGREE HOOK STRAIGHT EXTENSION LENGTH	MIN O.C. SPACING	LAP FOR TOP BARS	LAP IN MASONRY W/ MIN 2" CLR	LAP IN 6" CMU CENTERED BARS
#3	4-1/2"	2"	1'-2"	1'-2"	1'-0"
#4	6"	2-1/2"	1'-7"	1'-10"	1'-3"
#5	7-1/2"	3-1/4"	2'-0"	2'-7"	1'-11"
#6	9"	3-3/4"	2'-4"	3'-1"	3'-7"
#7	10-1/2"	4-1/2"	3'-11"	5'-1"	4'-10"
#8	12"	5"	4'-11"	6'-4"	---



REFERENCE FOR PLANNING PURPOSES ONLY.

REVISIONS

NO.	DESCRIPTION	APPD. ENGR.	DATE	APPD. EU.	DATE

SCALE: HORIZ. 1" = N/A
VERT. 1" = N/A

BENCH MARK: []

COMPUTED BY: []

DESIGNED BY: []

DRAWN BY: []

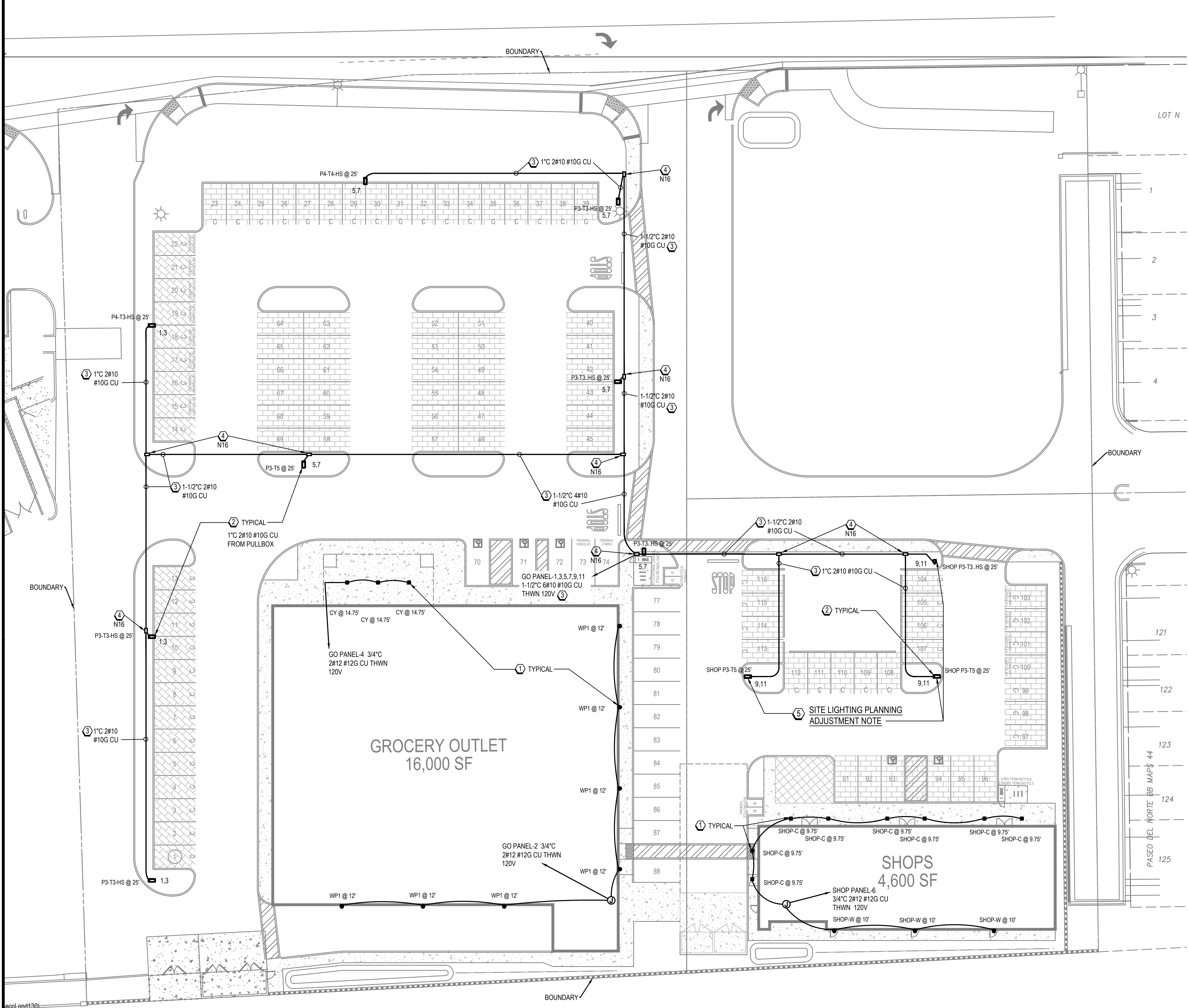
PROJ. ENGR. BY: []

MORTON & PITALO, INC.
CIVIL ENGINEERING • LAND PLANNING • LAND SURVEYING
Folsom • Fresno
600 Coolidge Drive, Suite #140
Folsom, CA 95630
phone: (916) 984-7621
web: www.mpangr.com

PRELIMINARY PLAN FOR
GROCERY OUTLET
1751 PLEASANT GROVE BOULEVARD
PROTO-II WALL SYSTEMS REFERENCE
ROSELILLE, CALIFORNIA

DATE: MARCH 23, 2023
SHEET: 1 OF 1

JOB NO. 20-0011-00



V-DROP SCHED. PANEL

PANEL PROVIDED UNDER SEPARATE PERMIT

Voltage: 120 208 1 Phase
Location: BUILDING NA Wire NA Wire AIC Rating NA

DESCRIPTION	OKT	BKR	P	LTS	REC	MISC	A-VA	B-VA	EST CKT LENGTH	WIRE GAUGE	% VOLT DROP	AMPS	
LIGHTING POLES GO WEST	1	20	2	3			245	245	700	#10	1.46%	2.0	
LIGHTING POLES GO NORTH	5	20	2	5			395	395	550	#10	1.84%	3.3	
LIGHTING POLES GO EAST	9	20	2	3			225	225	450	#10	0.86%	1.9	
WALL PACKS GO EAST & SOUTH	2	20	1	7			245		275	#12	1.77%	2.0	
CANOPY GO NORTH	4	20	1	3				81	200	#12	0.45%	0.7	
WALL PACKS & CANOPY SHOPS	6	20	1	11			315		200	#12	1.67%	2.6	
Subtotal:												560	81
Total Connected VA:							2,371	Total VA per phase:		1425	946		
Total Connected AMPS:							11	Total AMPS per phase:		12	8		
25% of Long Continuous Load:							377						
25% of Largest Motor:							0	Total Calculated VA:		2,748			
Less 50% >10kVA of 180VA Receptacles:							0	Total Calculated AMPS:		13			

CONDUCTOR LENGTHS ARE BASED ON MAXIMUM PRACTICAL LENGTH, ACTUAL LENGTHS MAY BE LESS.

SITE LIGHTING GENERAL NOTES:

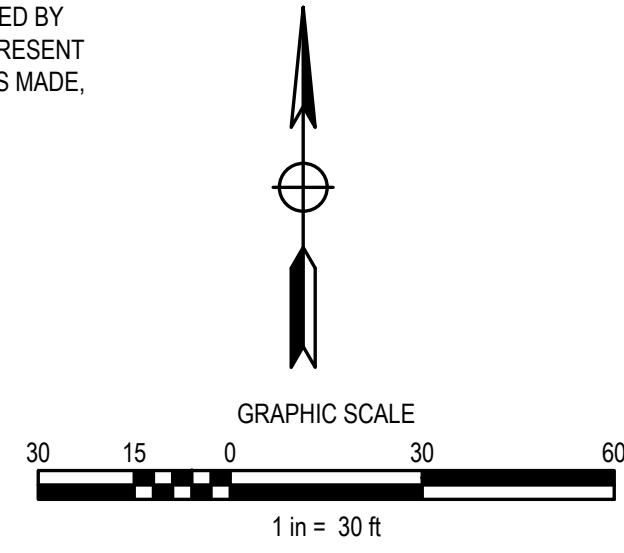
- A. FOR GROCERY OUTLET BUILDING EQUIPMENT IS SUBJECT TO REVIEW AND APPROVAL BY GROCERY OUTLET INTERIOR AND EXTERIOR LIGHTING DESIGNER: CITY ELECTRIC SUPPLY: DANI WEHAN 661-212-3209 DANI.WEHAN@CITYELECTRICSUPPLY.COM
- B. FOR SHOPS BUILDING, BUILDING EQUIPMENT IS SUBJECT TO REVIEW AND APPROVAL BY SHOPS INTERIOR AND EXTERIOR LIGHTING DESIGNER: SACRAMENTO ENGINEERING CONSULTANTS PHILLIP BEJARANO PHILB@SACENG.COM CELL: (916) 267-5754

SITE LIGHTING REFERENCE NOTES:

- 1. NEW BUILDING MOUNTED LIGHTING FIXTURE. SEE SHEETS E2 & E3-SERIES FOR DETAILS
- 2. NEW PARKING LOT POLE LUMINAIRE AND 25FT POLE WITH CONCRETE BASE. SEE SHEETS E2 & E3-SERIES FOR DETAILS.
- 3. UNDERGROUND CONDUIT AND WIRE. GRAY PVC SCHED. 40. WITH WIRING INDICATED. SEE SCHEDULE THIS SHEET FOR VOLTAGE DROP. SEE DETAIL 2E0.
- 4. UNDERGROUND PULLBOX WITH TAMPER RESISTANT PENTABOLT FASTENERS CHRISTY OR EQUIVALENT BY JENSEN OR OLDCASTLE. SIZE AS NOTED ON PLANS OR AMENDED HEREIN. SEE DETAIL 1E0:
 B1017: CALTRANS/NDOT #3-12 10"x17" N9
 B1324: CALTRANS/NDOT #5 12"x22" N16
 B1730: CALTRANS/NDOT #6 17"x30" N30
 LABEL LID "ELECTRIC" OR AS REQUIRED BY AHJ. SEE DETAIL E10.
 -IF ANGLE PULL DIMENSIONS EXCEED NEC 314.28 PROVIDE LARGER PULLBOX.
 -DASHED LINES TO PULLBOXES REPRESENT UNDERGROUND PVC SCHEDULE 40 CONDUIT - MINIMUM 1" EXCEPT UNLESS NOTED OTHERWISE.

SITE LIGHTING PLANNING ADJUSTMENT NOTE:

- 5. THE HEIGHT OF THE (3) LIGHT POLES NORTH OF 'SHOPS' BUILDING, REFERENCED BY THIS NOTE, AND SHOWN AS 25FT, SHALL BE REDUCED TO 15FT IN ORDER TO PRESENT A LOWER PROFILE TO THE EASTERN RESIDENCES. WHEN THIS ADJUSTMENT IS MADE, LUMINAIRE WATTAGES SHALL ALSO BE REDUCED ACCORDINGLY.



REVISIONS

NO.	DESCRIPTION	APPD. ENGR.	DATE	APPD. E.U.	DATE

SCALE:

HORIZ. 1" = 30'

VERT. 1" = N/A

BENCH MARK CITY B.M. 125
ELEV=126.60 (NAVD 88)
3 1/2" BRASS DISK STAMPED 2018 PLS 8278, LOCATED ON THE SOUTH SIDE OF PLEASANT GROVE BLVD. APPROX. 300 FEET EAST OF THE CENTERLINE OF FIDDYMENT ROAD AT THE TOP OF THE CURB WITHIN THE BUS TURNOUT IN FRONT OF THE BUS SHELTER PAD.

COMPUTED -

DESIGNED JDT

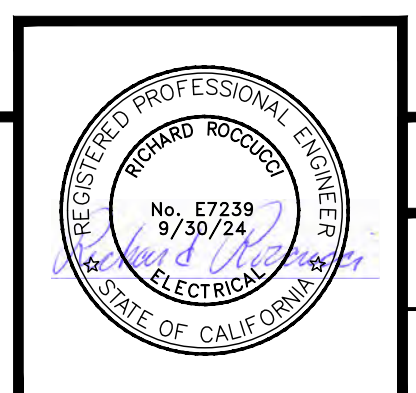
DRAWN RC

PROJ. ENGR. JDT

CES ENGINEERING, INC.

916.905.4477 www.conwayengineering.com
13420 Mesa Drive Grass Valley California 95949 USA

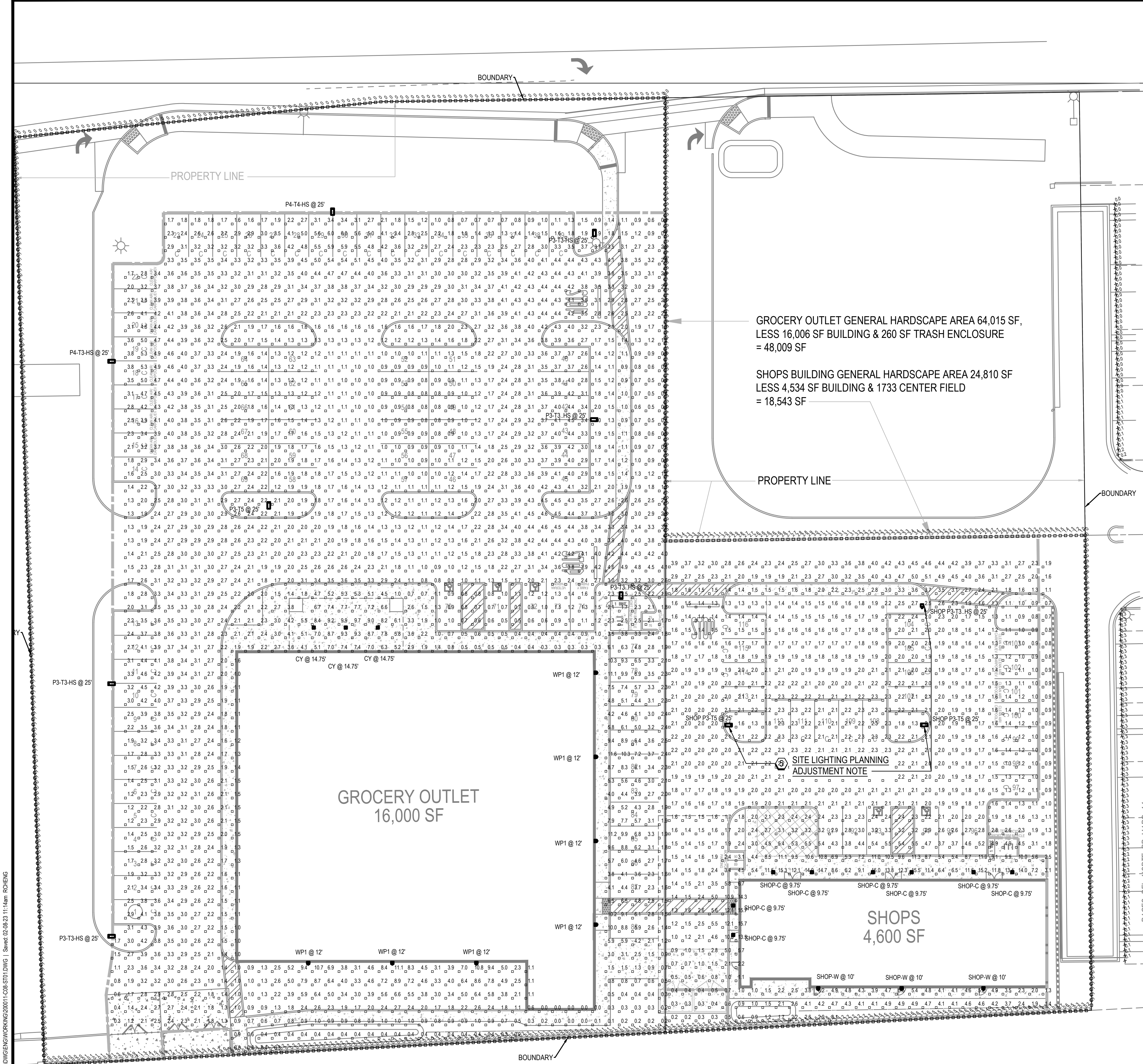
ON-SITE IMPROVEMENT PLANS FOR
GROCERY OUTLET
SITE LIGHTING PLAN
1751 PLEASANT GROVE BOULEVARD
ROSEVILLE, CALIFORNIA



DATE MAR 23, 2023

SHEET E1

OF 7



Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
[Symbol]	CY	[Image]	3	ELITE	OVR-101-LED-4000L-DIM10-MVOLT-40K-WH		1	3667	0.9	26.5173	[Polar Plot]
[Symbol]	P3-T3-HS	[Image]	2	Lithonia Lighting	RSX2 LED P3 40K R3 HS	RSX LED Area Luminaire Size 2 P3 Lumen Package 4000K CCT Type R3 Distribution with HS shield. House shield is required, to reduce B1-U0-G4 to B1-U0-G3.	1	15256	0.85	149.98	[Polar Plot]
[Symbol]	P3-T3-HS	[Image]	3	Lithonia Lighting	RSX2 LED P3 40K R3 HS	RSX LED Area Luminaire Size 2 P3 Lumen Package 4000K CCT Type R3 Distribution with HS shield. B1-U0-G3.	1	15256	0.85	149.98	[Polar Plot]
[Symbol]	P3-T5	[Image]	1	Lithonia Lighting	RSX2 LED P3 40K R5	RSX Area Fixture Size 2 P3 Lumen Package 4000K CCT Type R5 Distribution. B5-U0-G3.	1	22316	0.85	149.98	[Polar Plot]
[Symbol]	P4-T3-HS	[Image]	1	Lithonia Lighting	RSX2 LED P4 40K R3 HS	RSX LED Area Luminaire Size 2 P4 Lumen Package 4000K CCT Type R3 Distribution with HS shield. B1-U0-G3.	1	17548	0.85	189.54	[Polar Plot]
[Symbol]	P4-T4-HS	[Image]	1	Lithonia Lighting	RSX2 LED P4 40K R4 HS	RSX LED Area Luminaire Size 2 P4 Lumen Package 4000K CCT Type R4 Distribution with HS shield. B2-U0-G3.	1	16647	0.85	189.54	[Polar Plot]
[Symbol]	WP1	[Image]	7	Lithonia Lighting	WDGE2 LED P4 40K 80CRI VW	WDGE2 LED WITH P4 - PERFORMANCE PACKAGE. 4000K. 80CRI. VISUAL COMFORT WIDE OPTIC (B1-U0-G1, 90CRI version is B1-U0-G0)(-6200L).	1	4526	0.9	34.96	[Polar Plot]
[Symbol]	SHOP P3-T3-HS	[Image]	1	Lithonia Lighting	RSX2 LED P3 40K R3 HS	RSX LED Area Luminaire Size 2 P3 Lumen Package 4000K CCT Type R3 Distribution with HS shield. House shield is required, to reduce B1-U0-G4 to B1-U0-G3.	1	15256	0.85	149.98	[Polar Plot]
[Symbol]	SHOP P3-T3-HS	[Image]	0	Lithonia Lighting	RSX2 LED P3 40K R3	RSX Area Fixture Size 2 P3 Lumen Package 4000K CCT Type R3 Distribution. B1-U0-G3.	1	21736	0.85	149.98	[Polar Plot]
[Symbol]	SHOP P3-T5	[Image]	2	Lithonia Lighting	RSX2 LED P3 40K R5	RSX Area Fixture Size 2 P3 Lumen Package 4000K CCT Type R5 Distribution. B5-U0-G3.	1	22316	0.85	149.98	[Polar Plot]
[Symbol]	SHOP P3-T5	[Image]	8	Lithonia Lighting	CNY LED P0 40K MVOLT	CNY LED Canopy P0=3.500m B1-U3-G1 (-6200L).	108	3669	0.9	26.35	[Polar Plot]
[Symbol]	SHOP-C	[Image]	1	Lithonia Lighting	WDGE2 LED P3 40K 70CRI T3M	WDGE2 LED WITH P3 - PERFORMANCE PACKAGE. 4000K. 70CRI. TYPE 3 MEDIUM OPTIC. B1-U0-G1 (-6200L).	1	3629	0.9	32.1375	[Polar Plot]
[Symbol]	SHOP-W	[Image]	3	Lithonia Lighting	WDGE2 LED P3 40K 70CRI T3M	WDGE2 LED WITH P3 - PERFORMANCE PACKAGE. 4000K. 70CRI. TYPE 3 MEDIUM OPTIC. B1-U0-G1 (-6200L).	1	3629	0.9	32.1375	[Polar Plot]

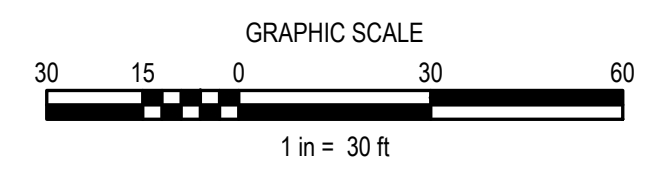
PHOTOMETRIC NOTES:

- NUMBERS ON 10FT X 10FT GRID ARE CALCULATED HORIZONTAL FOOTCANDLE VALUES BASED ON MANUFACTURER PROVIDED IES FILES AND ESTIMATED LIGHT LOSS FACTORS SCHEDULED ON THIS SHEET.
- FOOTCANDLE VALUES INCLUDE LIGHT CONTRIBUTION ONLY FROM POLE AND BUILDING MOUNTED LIGHTS SHOWN ON THESE DRAWINGS INSTALLED AS PART OF THIS PERMIT.

SITE LIGHTING PLANNING ADJUSTMENT NOTE:

- THE HEIGHT OF THE (3) LIGHT POLES NORTH OF 'SHOPS' BUILDING, REFERENCED BY THIS NOTE, AND SHOWN AS 25FT, SHALL BE REDUCED TO 15FT IN ORDER TO PRESENT A LOWER PROFILE TO THE EASTERN RESIDENCES. WHEN THIS ADJUSTMENT IS MADE, LUMINAIRE WATTAGES SHALL ALSO BE REDUCED ACCORDINGLY.

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Frontage LOTS 121-125	+	0.3 fc	0.3 fc	0.1 fc	3.0:1	3.0:1
Hardscape GO	□	2.7 fc	11.6 fc	0.6 fc	N/A	N/A
Hardscape SHOPS	□	2.7 fc	15.7 fc	0.2 fc	78.5:1	13.5:1
Property Line GO East (Commercial roadway)	◇	1.1 fc	3.5 fc	0.0 fc	N/A	N/A
Property Line GO North (Public roadway)	◇	0.6 fc	0.6 fc	0.0 fc	N/A	N/A
Property Line GO South (Greenbelt)	◇	0.4 fc	1.7 fc	0.0 fc	N/A	N/A
Property Line GO West (CVS roadway)	◇	0.1 fc	0.2 fc	0.0 fc	N/A	N/A
Property Line SHOPS East (Residential roadway)	◇	0.5 fc	1.0 fc	0.0 fc	N/A	N/A
Property Line SHOPS North (Roadway CL)	◇	2.8 fc	3.5 fc	1.0 fc	3.5:1	2.8:1
Property Line SHOPS South (Greenbelt)	◇	2.1 fc	3.7 fc	0.1 fc	37.0:1	21.0:1
Frontage LOTS 1-4	+	0.0 fc	0.2 fc	0.0 fc	N/A	N/A



NO.	DESCRIPTION	APPD. ENGR.	DATE	APPD. DATE

SCALE: HORIZ. 1" = 30' VERT. 1" = N/A

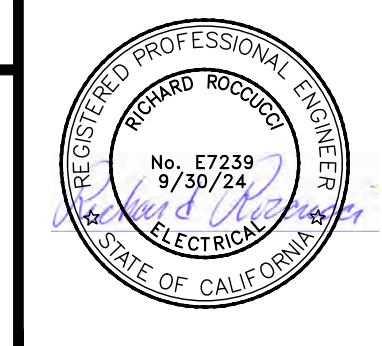
BENCH MARK CITY B.M. 125 ELEV=126.60 (NAVD 88)

3 1/2" BRASS DISK STAMPED 2018 PLS 8278, LOCATED ON THE SOUTH SIDE OF PLEASANT GROVE BLVD. APPROX. 300 FEET EAST OF THE CENTERLINE OF FIDDYMENT ROAD AT THE TOP OF THE CURB WITHIN THE BUS TURNOUT IN FRONT OF THE BUS SHELTER PAD.

COMPUTED	DESIGNED	DRAWN	PROJ. ENGR.
-	JDT	RC	JDT

CES ENGINEERING, INC.
 916.905.4477 www.conwayengineering.com
 13420 Mesa Drive Grass Valley California 95949 USA

ON-SITE IMPROVEMENT PLANS FOR
GROCERY OUTLET
 SITE PHOTOMETRIC PLAN
 1751 PLEASANT GROVE BOULEVARD
 ROSEVILLE, CALIFORNIA



DATE	MAR 23, 2023
SHEET	E2
OF	7

CWJ# EN GROCERY OUTLET



RSX2 LED Area Luminaire

EPA (ft@90°): 0.69 ft² (0.06 m²)

Length: 29.3" (74.4 cm) (SPA mount)

Width: 13.4" (34.0 cm)

Height: 3.0" (7.6 cm) Main Body
7.2" (18.3 cm) Arm

Weight: 30.0 lbs (13.6 kg) (SPA mount)

Options: GO & SHOP TYPES P3 & P4

Accessories: R5050, R5050R, R5050E, R5050F, R5050M, R5050D, R5050S, R5050T, R5050W, R5050X, R5050Y, R5050Z, R5050AA, R5050AB, R5050AC, R5050AD, R5050AE, R5050AF, R5050AG, R5050AH, R5050AI, R5050AJ, R5050AK, R5050AL, R5050AM, R5050AN, R5050AO, R5050AP, R5050AQ, R5050AR, R5050AS, R5050AT, R5050AU, R5050AV, R5050AW, R5050AX, R5050AY, R5050AZ, R5050BA, R5050BB, R5050BC, R5050BD, R5050BE, R5050BF, R5050BG, R5050BH, R5050BI, R5050BJ, R5050BK, R5050BL, R5050BM, R5050BN, R5050BO, R5050BP, R5050BQ, R5050BR, R5050BS, R5050BT, R5050BU, R5050BV, R5050BW, R5050BX, R5050BY, R5050BZ, R5050CA, R5050CB, R5050CC, R5050CD, R5050CE, R5050CF, R5050CG, R5050CH, R5050CI, R5050CJ, R5050CK, R5050CL, R5050CM, R5050CN, R5050CO, R5050CP, R5050CQ, R5050CR, R5050CS, R5050CT, R5050CU, R5050CV, R5050CW, R5050CX, R5050CY, R5050CZ, R5050DA, R5050DB, R5050DC, R5050DD, R5050DE, R5050DF, R5050DG, R5050DH, R5050DI, R5050DJ, R5050DK, R5050DL, R5050DM, R5050DN, R5050DO, R5050DP, R5050DQ, R5050DR, R5050DS, R5050DT, R5050DU, R5050DV, R5050DW, R5050DX, R5050DY, R5050DZ, R5050EA, R5050EB, R5050EC, R5050ED, R5050EE, R5050EF, R5050EG, R5050EH, R5050EI, R5050EJ, R5050EK, R5050EL, R5050EM, R5050EN, R5050EO, R5050EP, R5050EQ, R5050ER, R5050ES, R5050ET, R5050EU, R5050EV, R5050EW, R5050EX, R5050EY, R5050EZ, R5050FA, R5050FB, R5050FC, R5050FD, R5050FE, R5050FF, R5050FG, R5050FH, R5050FI, R5050FJ, R5050FK, R5050FL, R5050FM, R5050FN, R5050FO, R5050FP, R5050FQ, R5050FR, R5050FS, R5050FT, R5050FU, R5050FV, R5050FW, R5050FX, R5050FY, R5050FZ, R5050GA, R5050GB, R5050GC, R5050GD, R5050GE, R5050GF, R5050GG, R5050GH, R5050GI, R5050GJ, R5050GK, R5050GL, R5050GM, R5050GN, R5050GO, R5050GP, R5050GQ, R5050GR, R5050GS, R5050GT, R5050GU, R5050GV, R5050GW, R5050GX, R5050GY, R5050GZ, R5050HA, R5050HB, R5050HC, R5050HD, R5050HE, R5050HF, R5050HG, R5050HH, R5050HI, R5050HJ, R5050HK, R5050HL, R5050HM, R5050HN, R5050HO, R5050HP, R5050HQ, R5050HR, R5050HS, R5050HT, R5050HU, R5050HV, R5050HW, R5050HX, R5050HY, R5050HZ, R5050IA, R5050IB, 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R5050UY, R5050UZ, R5050VA, R5050VB, R5050VC, R5050VD, R5050VE, R5050VF, R5050VG, R5050VH, R5050VI, R5050VJ, R5050VK, R5050VL, R5050VM, R5050VN, R5050VO, R5050VP, R5050VQ, R5050VR, R5050VS, R5050VT, R5050VU, R5050VV, R5050VW, R5050VX, R5050VY, R5050VZ, R5050WA, R5050WB, R5050WC, R5050WD, R5050WE, R5050WF, R5050WG, R5050WH, R5050WI, R5050WJ, R5050WK, R5050WL, R5050WM, R5050WN, R5050WO, R5050WP, R5050WQ, R5050WR, R5050WS, R5050WT, R5050WU, R5050WV, R5050WW, R5050WX, R5050WY, R5050WZ, R5050XA, R5050XB, R5050XC, R5050XD, R5050XE, R5050XF, R5050XG, R5050XH, R5050XI, R5050XJ, R5050XK, R5050XL, R5050XM, R5050XN, R5050XO, R5050XP, R5050XQ, R5050XR, R5050XS, R5050XT, R5050XU, R5050XV, R5050XW, R5050XX, R5050XY, R5050XZ, R5050YA, R5050YB, R5050YC, R5050YD, R5050YE, R5050YF, R5050YG, R5050YH, R5050YI, R5050YJ, R5050YK, R5050YL, R5050YM, R5050YN, R5050YO, R5050YP, R5050YQ, R5050YR, R5050YS, R5050YT, R5050YU, R5050YV, R5050YW, R5050YX, R5050YY, R5050YZ, R5050ZA, R5050ZB, R5050ZC, R5050ZD, R5050ZE, 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Ordering Information

Accessories: R5050, R5050R, R5050E, R5050F, R5050M, R5050D, R5050S, R5050T, R5050W, R5050X, R5050Y, R5050Z, R5050AA, R5050AB, R5050AC, R5050AD, R5050AE, R5050AF, R5050AG, R5050AH, R5050AI, R5050AJ, R5050AK, R5050AL, R5050AM, R5050AN, R5050AO, R5050AP, R5050AQ, R5050AR, R5050AS, R5050AT, R5050AU, R5050AV, R5050AW, R5050AX, R5050AY, R5050AZ, R5050BA, R5050BB, R5050BC, R5050BD, R5050BE, R5050BF, R5050BG, R5050BH, R5050BI, R5050BJ, R5050BK, R5050BL, R5050BM, R5050BN, R5050BO, R5050BP, R5050BQ, R5050BR, R5050BS, R5050BT, R5050BU, R5050BV, R5050BW, R5050BX, R5050BY, R5050BZ, R5050CA, R5050CB, R5050CC, R5050CD, R5050CE, R5050CF, R5050CG, R5050CH, R5050CI, R5050CJ, R5050CK, R5050CL, R5050CM, R5050CN, R5050CO, R5050CP, R5050CQ, R5050CR, R5050CS, R5050CT, R5050CU, R5050CV, R5050CW, R5050CX, R5050CY, R5050CZ, R5050DA, R5050DB, R5050DC, R5050DD, R5050DE, R5050DF, R5050DG, R5050DH, R5050DI, R5050DJ, R5050DK, R5050DL, R5050DM, R5050DN, R5050DO, R5050DP, R5050DQ, R5050DR, R5050DS, R5050DT, R5050DU, R5050DV, R5050DW, R5050DX, R5050DY, R5050DZ, R5050EA, R5050EB, R5050EC, R5050ED, R5050EE, R5050EF, R5050EG, R5050EH, R5050EI, R5050EJ, R5050EK, R5050EL, R5050EM, R5050EN, R5050EO, R5050EP, R5050EQ, R5050ER, R5050ES, R5050ET, R5050EU, R5050EV, R5050EW, R5050EX, R5050EY, R5050EZ, R5050FA, R5050FB, R5050FC, R5050FD, R5050FE, R5050FF, R5050FG, R5050FH, R5050FI, R5050FJ, R5050FK, R5050FL, R5050FM, R5050FN, R5050FO, R5050FP, R5050FQ, R5050FR, R5050FS, R5050FT, R5050FU, R5050FV, R5050FW, R5050FX, R5050FY, R5050FZ, R5050GA, R5050GB, R5050GC, R5050GD, R5050GE, R5050GF, R5050GG, R5050GH, R5050GI, R5050GJ, R5050GK, R5050GL, R5050GM, R5050GN, R5050GO, R5050GP, R5050GQ, R5050GR, R5050GS, R5050GT, R5050GU, R5050GV, R5050GW, R5050GX, R5050GY, R5050GZ, R5050HA, R5050HB, R5050HC, R5050HD, R5050HE, R5050HF, R5050HG, R5050HH, R5050HI, R5050HJ, R5050HK, R5050HL, R5050HM, R5050HN, R5050HO, R5050HP, R5050HQ, R5050HR, R5050HS, R5050HT, R5050HU, R5050HV, R5050HW, R5050HX, R5050HY, R5050HZ, R5050IA, R5050IB, R5050IC, R5050ID, R5050IE, R5050IF, R5050IG, R5050IH, R5050II, R5050IJ, R5050IK, R5050IL, R5050IM, R5050IN, R5050IO, R5050IP, R5050IQ, R5050IR, R5050IS, R5050IT, R5050IU, R5050IV, R5050IW, R5050IX, R5050IY, R5050IZ, R5050JA, R5050JB, R5050JC, R5050JD, R5050JE, R5050JF, R5050JG, R5050JH, R5050JI, R5050JJ, R5050JK, R5050JL, R5050JM, R5050JN, R5050JO, R5050JP, R5050JQ, R5050JR, R5050JS, R5050JT, R5050JU, R5050JV, R5050JW, R5050JX, R5050JY, R5050JZ, R5050KA, R5050KB, R5050KC, R5050KD, R5050KE, R5050KF, R5050KG, R5050KH, R5050KI, R5050KJ, R5050KL, R5050KM, R5050KN, R5050KO, R5050KP, R5050KQ, R5050KR, R5050KS, R5050KT, R5050KU, R5050KV, R5050KW, R5050KX, R5050KY, R5050KZ, R5050LA, R5050LB, R5050LC, R5050LD, R5050LE, R5050LF, R5050LG, R5050LH, R5050LI, R5050LJ, R5050LK, R5050LM, R5050LN, R5050LO, R5050LP, R5050LQ, R5050LR, R5050LS, R5050LT, R5050LU, R5050LV, R5050LW, R5050LX, R5050LY, R5050LZ, R5050MA, R5050MB, R5050MC, R5050MD, R5050ME, R5050MF, R5050MG, R5050MH, R5050MI, R5050MJ, R5050MK, R5050ML, R5050MM, R5050MN, R5050MO, R5050MP, R5050MQ, R5050MR, R5050MS, R5050MT, R5050MU, R5050MV, R5050MW, R5050MX, R5050MY, R5050MZ, R5050NA, R5050NB, R5050NC, R5050ND, R5050NE, R5050NF, R5050NG, R5050NH, R5050NI, R5050NJ, R5050NK, R5050NL, R5050NM, R5050NN, R5050NO, R5050NP, R5050NQ, R5050NR, R5050NS, R5050NT, R5050NU, R5050NV, R5050NW, R5050NX, R5050NY, R5050NZ, R5050OA, R5050OB, R5050OC, R5050OD, R5050OE, R5050OF, R5050OG, R5050OH, R5050OI, R5050OJ, R5050OK, R5050OL, R5050OM, R5050ON, R5050OO, R5050OP, R5050OQ, R5050OR, R5050OS, R5050OT, R5050OU, R5050OV, R5050OW, R5050OX, R5050OY, R5050OZ, R5050PA, R5050PB, R5050PC, R5050PD, R5050PE, R5050PF, R5050PG, R5050PH, R5050PI, R5050PJ, R5050PK, R5050PL, R5050PM, R5050PN, R5050PO, R5050PP, R5050PQ, R5050PR, R5050PS, R5050PT, R5050PU, R5050PV, R5050PW, R5050PX, R5050PY, R5050PZ, R5050QA, R5050QB, R5050QC, R5050QD, R5050QE, R5050QF, R5050QG, R5050QH, R5050QI, R5050QJ, R5050QK, R5050QL, R5050QM, R5050QN, R5050QO, R5050QP, R5050QQ, R5050QR, R5050QS, R5050QT, R5050QU, R5050QV, R5050QW, R5050QX, R5050QY, R5050QZ, R5050RA, R5050RB, R5050RC, R5050RD, R5050RE, R5050RF, R5050RG, R5050RH, R5050RI, R5050RJ, R5050RK, R5050RL, R5050RM, R5050RN, R5050RO, R5050RP, R5050RQ, R5050RR, R5050RS, R5050RT, R5050RU, R5050RV, R5050RW, R5050RX, R5050RY, R5050RZ, R5050SA, R5050SB, R5050SC, R5050SD, R5050SE, R5050SF, R5050SG, R5050SH, R5050SI, R5050SJ, R5050SK, R5050SL, R5050SM, R5050SN, R5050SO, R5050SP, R5050SQ, R5050SR, R5050SS, R5050ST, R5050SU, R5050SV, R5050SW, R5050SX, R5050SY, R5050SZ, R5050TA, R5050TB, R5050TC, R5050TD, R5050TE, R5050TF, R5050TG, R5050TH, R5050TI, R5050TJ, R5050TK, R5050TL, R5050TM, R5050TN, R5050TO, R5050TP, R5050TQ, R5050TR, R5050TS, R5050TT, R5050TU, R5050TV, R5050TW, R5050TX, R5050TY, R5050TZ, R5050UA, R5050UB, R5050UC, R5050UD, R5050UE, R5050UF, R5050UG, R5050UH, R5050UI, R5050UJ, R5050UK, R5050UL, R5050UM, R5050UN, R5050UO, R5050UP, R5050UQ, R5050UR, R5050US, R5050UT, R5050UU, R5050UV, R5050UW, R5050UX, R5050UY, R5050UZ, R5050VA, R5050VB, R5050VC, R5050VD, R5050VE, R5050VF, R5050VG, R5050VH, R5050VI, R5050VJ, R5050VK, R5050VL, R5050VM, R5050VN, R5050VO, R5050VP, R5050VQ, R5050VR, R5050VS, R5050VT, R5050VU, R5050VV, R5050VW, R5050VX, R5050VY, R5050VZ, R5050WA, R5050WB, R5050WC, R5050WD, R5050WE, R5050WF, R5050WG, R5050WH, R5050WI, R5050WJ, R5050WK, R5050WL, R5050WM, R5050WN, R5050WO, R5050WP, R5050WQ, R5050WR, R5050WS, R5050WT, R5050WU, R5050WV, R5050WW, R5050WX, R5050WY, R5050WZ, R5050XA, R5050XB, R5050XC, R5050XD, R5050XE, R5050XF, R5050XG, R5050XH, R5050XI, R5050XJ, R5050XK, R5050XL, R5050XM, R5050XN, R5050XO, R5050XP, R5050XQ, R5050XR, R5050XS, R5050XT, R5050XU, R5050XV, R5050XW, R5050XX, R5050XY, R5050XZ, R5050YA, R5050YB, R5050YC, R5050YD, R5050YE, R5050YF, R5050YG, R5050YH, R5050YI, R5050YJ, R5050YK, R5050YL, R5050YM, R5050YN, R5050YO, R5050YP, R5050YQ, R5050YR, R5050YS, R5050YT, R5050YU, R5050YV, R5050YW, R5050YX, R5050YZ, R5050ZA, R5050ZB, R5050ZC, R5050ZD, R5050ZE, R5050ZF, R5050ZG, R5050ZH, R5050ZI, R5050ZJ, R5050ZK, R5050ZL, R5050ZM, R5050ZN, R5050ZO, R5050ZP, R5050ZQ, R5050ZR, R5050ZS, R5050ZT, R5050ZU, R5050ZV, R5050ZW, R5050ZX, R5050ZY, R5050ZZ

OVR-101-LED

LED Small Square Canopy Series

up to 60 Wattage / up to 8000 Lumens

Dimensions & Weights

Luminaire Weight by Mounting Type

Mounting Type	Light Luminaire Weight
SPR	30 lbs
SRB	32 lbs
MA	30 lbs
WBA	33 lbs
WBASC	36 lbs
IS	33 lbs
AASP	33 lbs
AMPB	35 lbs
AWSS	36 lbs
AMBK	39 lbs

RSX2 with Round Pole Adapter (RPA)

Length: 30.3" (77.0 cm)
Width: 13.4" (34.0 cm)
Height: 3.0" (7.6 cm) Main Body
7.2" (18.3 cm) Arm

RSX2 with Mast Arm Adapter (MA)

Length: 30.6" (77.7 cm)
Width: 13.4" (34.0 cm)
Height: 3.0" (7.6 cm) Main Body
3.5" (8.9 cm) Arm

RSX2 with Adjustable Splitter (IS)

Length: 28.3" (71.9 cm)
Width: 13.4" (34.0 cm)
Height: 3.0" (7.6 cm) Main Body
7.6" (19.3 cm) Arm

Specifications:

LUMENS	4000 / 6000 / 8000 Lumens
WATTAGE	27W / 40W / 60W
CCT	40K, 50K
CRI	70
LIGHT EFFICIENCY	130 lumens/watt
VOLTAGE	120-277 VAC
POWER FREQUENCY	50/60 Hz
FINISH	Bronze, White, Black
APPLICABLE ENVIRONMENT	Dry/Damp/White location
WORKING TEMPERATURE	-40°C to 40°C

PHOTOMETRICS:

Beam diameter: 241.8mm (9.52in)
Beam diameter: 81mm (3.19in)

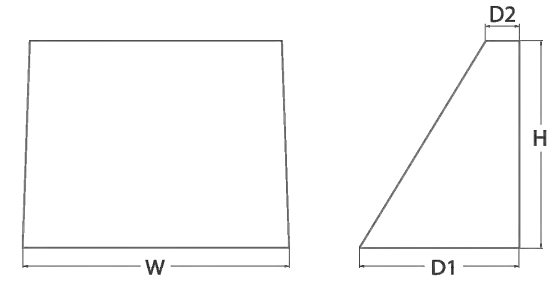
Ordering Information					EXAMPLE: RSX2 LED P6 40K R3 MVOLT SPA DDBXD				
RSX2 LED	Performance Package	Color Temperature	Distribution	Voltage	Mounting	Accessories	Finish	Options	Mounting
RSX2 LED	P1	30K - 3000K	R2 Type 2 Wide	MVOLT (120V-277V)	SPA	Square pole mounting (3/8" dia, 3/8" pole for 1.4-9.8" dia, 3/8" pole for 2.3-4.9")	DDBXD		SR
	P2	40K - 4000K	R3 Type 3 Standard	MVOLT (277V-480V)	RBA	Round pole mounting (1.7" dia, 3/8" pole for 2.3-4.9", 1.7" dia, 3/8" pole for 1.4-9.8", 2" dia, 3/8" pole for 2.3-4.9")	DDBXD		SR
	P3	50K - 5000K	R4 Type 4 Standard	MVOLT (277V-480V)	MA	Mast arm adapter (fits 2-3/8" dia horizontal rod)	DDBXD		SR
	P4		R5 Type 5 Short	120" / 277"	IS	Adjustable splitter (fits 2-3/8" dia rod)	DDBXD		SR
	P5		R6 Type 6 Short	120" / 277"	WBA	Wall bracket	DDBXD		SR
	P6		R7 Type 7 Short	120" / 277"	WBASC	Wall bracket with surface conduit box	DDBXD		SR
					<p>Accessories: AASP, AMPB, AWSS, AMBK, R5050, R5050R, R5050E, R5050F, R5050M, R5050D, R5050S, R5050T, R5050W, R5050X, R5050Y, R5050Z, R5050AA, R5050AB, R5050AC, R5050AD, R5050AE, R5050AF, R5050AG, R5050AH, R5050AI, R5050AJ, R5050AK, R5050AL, R5050AM, R5050AN, R5050AO, R5050AP, R5050AQ, R5050AR, R5050AS, R5050AT, R5050AU, R5050AV, R5050AW, R5050AX, R5050AY, R5050AZ, R5050BA, R5050BB, R5050BC, R5050BD, R5050BE, R5050BF, R5050BG, R5050BH, R5050BI, R5050BJ, R5050BK, R5050BL, R5050BM, R5050BN, R5050BO, R5050BP, R5050BQ, R5050BR, R5050BS, R5050BT</p>				



WDGE2 LED Architectural Wall Scape Precision Refractive Optic

Catalog Number Notes Type SHOP TYPE W

- Specifications Depth (D1): 7" Depth (D2): 1.5" Height: 9" Weight: 11.5" (without options)



Introduction The WDGE2 LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture.

WDGE LED Family Overview

Table with columns: Luminaire, Optics, Standard DM, CRI, Color Temp., Sensor, and various lumens (P0-P8).

Ordering Information

EXAMPLE: WDGE2 LED P3 40K 80CRI VF MVOLET SRM DDBXC

Table with columns: Series, Package, Color Temperature, CRI, Distribution, Voltage, Mounting, and Shipped separately.

Options table with columns: Options, Standalone Sensors/Controls, and Finish.

Accessories

- WDGE2SRM DDBXC 3.8inch Architectural Wall Spacer (spicy finish)
- WDGE2FRBW DDBXC 3.8inch Architectural Wall Spacer (spicy finish)

- NOTES: 1. P0 option not available with sensors/controls. 2. P1-P4 not available with AMB and LW.

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown.

Large performance data table with columns: Performance Package, System Volt, and various luminaire configurations.

Performance data table with columns: Performance Package, System Volt, and various luminaire configurations.



CNY LED LED Canopy/Ceiling Luminaire

Catalog Number Notes Type SHOP TYPE C

- Specifications CNY LED P0/P1/2 Width: 12" Height: 4.7" Depth: 10" Weight: 6.5lbs

Introduction The CNY LED canopy luminaires are energy efficient and budget friendly, perfect for replacing up to 250W metal halide luminaires.

Ordering Information

EXAMPLE: CNY LED P1 50K MVOLET DDB

Ordering information table with columns: Series, Performance Package, Color Temperature, Voltage, and Finish.

Accessories

- NOTES: 1. WH finish is only available in CNY P0 and P1 packages...

FEATURES & SPECIFICATIONS

INTENDED USE CNY LED luminaires are ideal, energy-efficient replacements for up to 250W MH canopy or ceiling luminaires.

CONSTRUCTION Cast aluminum, corrosion-resistant housing with polyester powder paint for lasting durability.

ELECTRICAL Includes an MVOLET (120-277V) electronic driver that is 0-10V, capable of continuous dimming.

INSTALLATION Mounts to a recessed junction box or surface mount with three conduit entry points.

LISTINGS UL Listed to U.S. and Canadian safety standards for wet locations.

CONSTRUCTION Cast aluminum, corrosion-resistant housing with polyester powder paint for lasting durability.

ELECTRICAL Includes an MVOLET (120-277V) electronic driver that is 0-10V, capable of continuous dimming.

INSTALLATION Mounts to a recessed junction box or surface mount with three conduit entry points.

WARRANTY Five-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind.

LITHONIA LIGHTING COMMERCIAL OUTDOOR One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (3738) • www.lithonia.com

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REVISIONS table with columns: NO., DESCRIPTION, APPD. ENGR., DATE, APPD. EU., DATE.

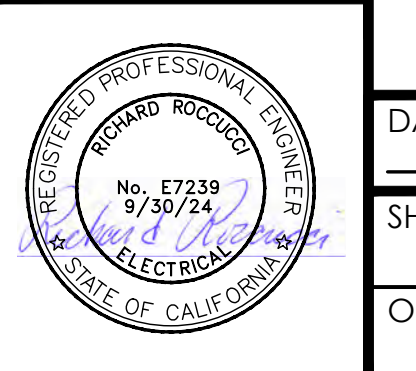
SCALE: HORIZ. 1" = 30', VERT. 1" = N/A

BENCH MARK CITY B.M. 125 ELEV=126.60 (NAVD 88)

COMPUTED, DESIGNED, DRAWN, PROJ. ENGR. table.

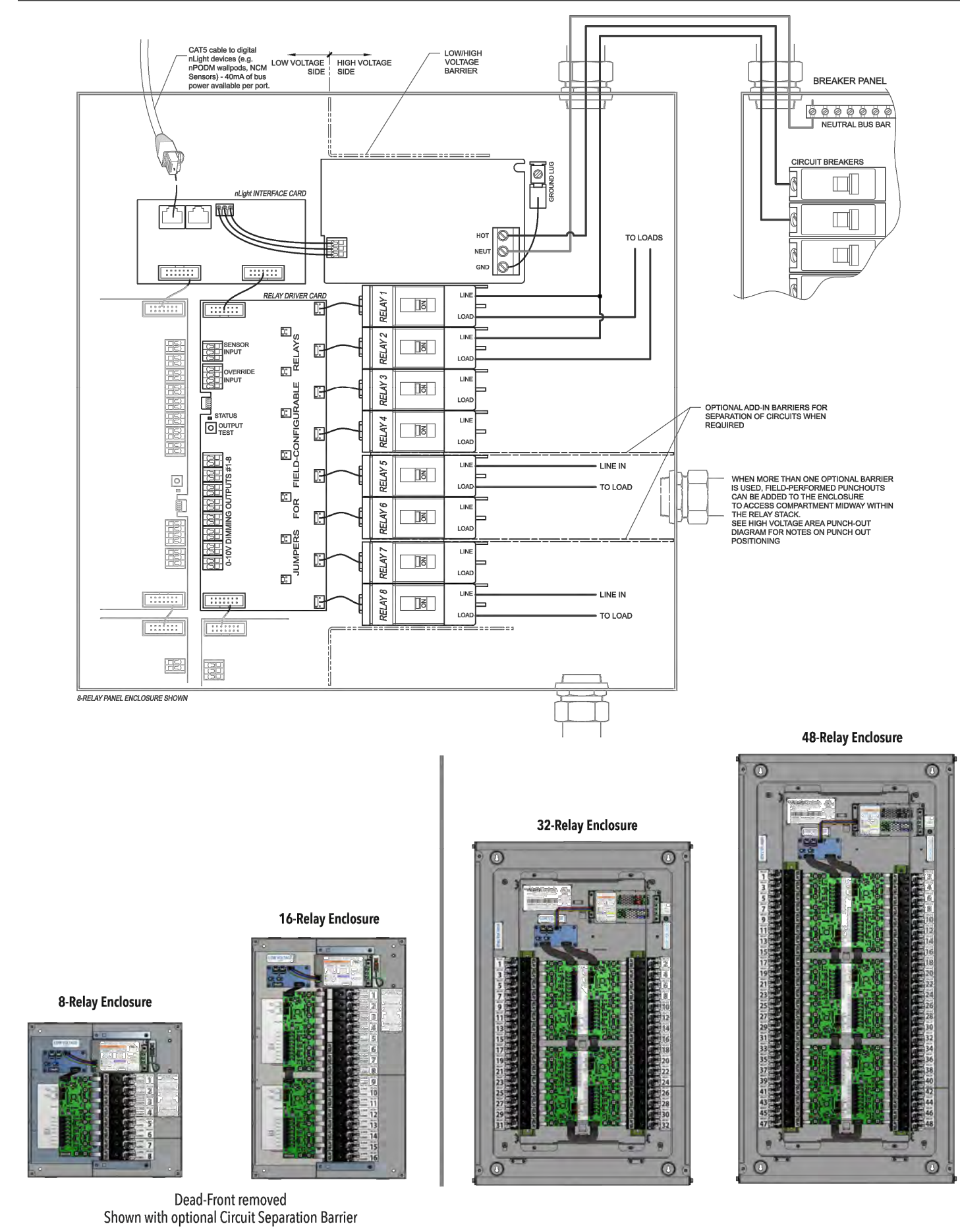
CES ENGINEERING, INC. 916.905.4477 www.conwayengineering.com

GROCERY OUTLET SHOPS LIGHTING FIXTURES 1751 PLEASANT GROVE BOULEVARD ROSEVILLE, CALIFORNIA



DATE, SHEET, OF, JOB NO. table.

WIRING - SINGLE-POLE



ARP 3 of 5

SPECIFICATIONS

ENCLOSURE DIMENSIONS
Note: Enclosure is NEMA 1 rated
8-Relay Enclosure
BACKBOX ONLY: 14.25"H x 14.25"W x 4.00"D

ORDERING INFORMATION

Table with columns: nLight Relay Panel, Panel Size, Relay Quantity, Operating Voltage, Voltage Barrier, Door Type, Mounting, Clock Option.

PHOTOSENSOR ACCESSORIES

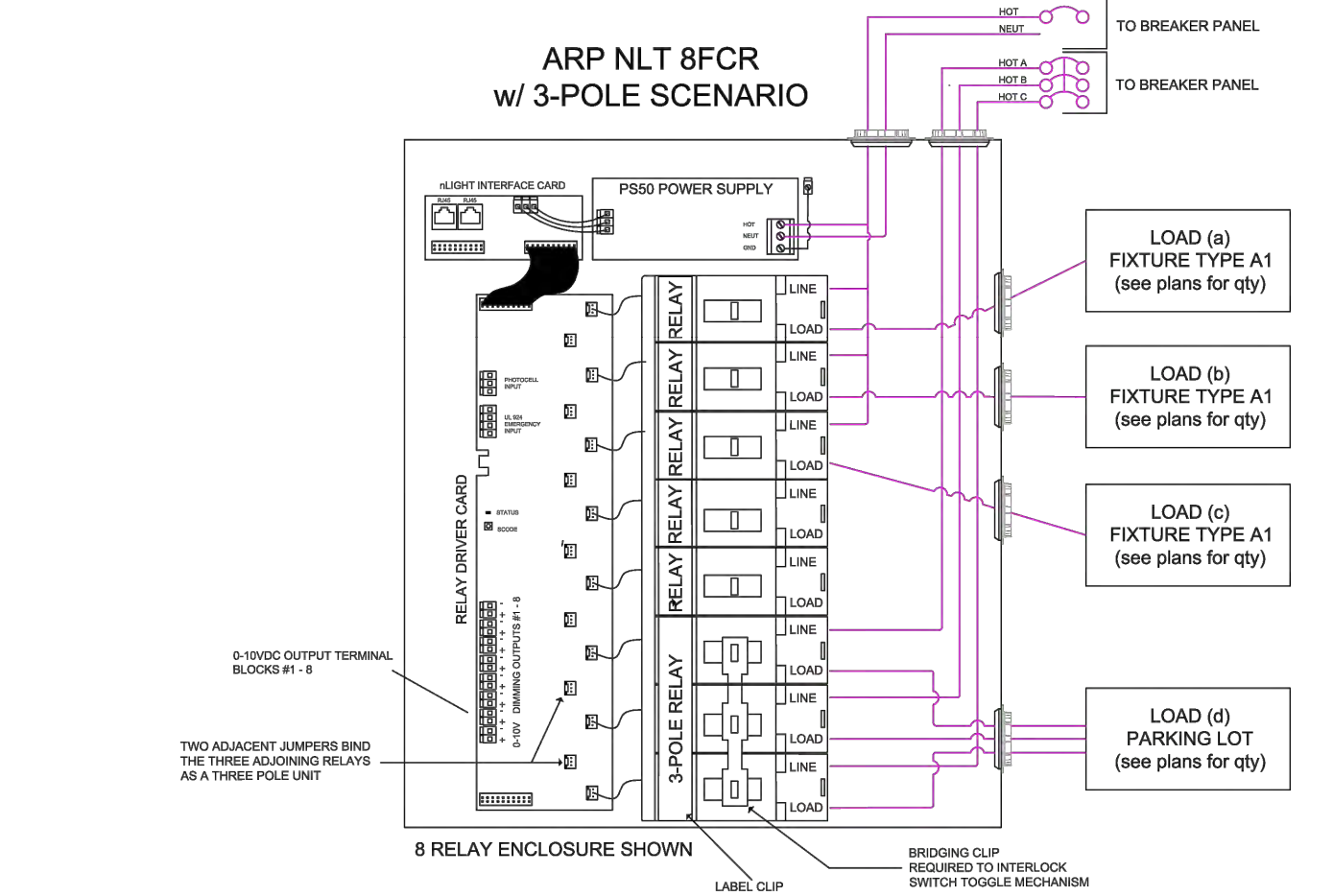
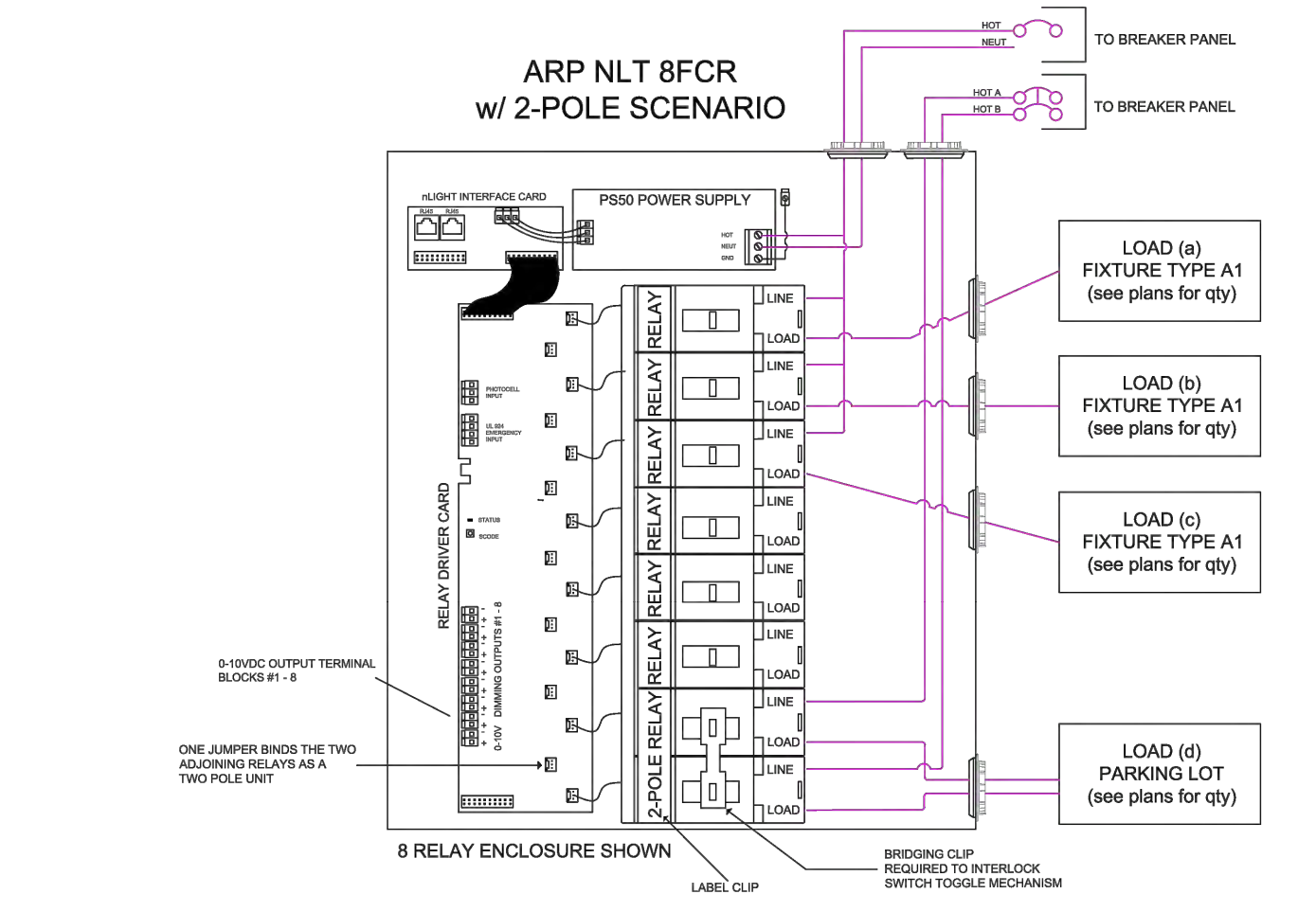
Table with columns: Series, Description, Recommended Application.

ADDITIONAL ACCESSORIES

Table with columns: Series, Description.

NOTE: If desired, panel enclosure and interior components can be ordered separately.

3 of 5



ARP 4 of 5

Table with columns: Panel Size, Relay Quantity, Operating Voltage, Voltage Barrier, Door Type, Mounting, Clock Option.

NOTE: If desired, panel enclosure and interior components can be ordered separately.

4 of 5

Table with columns: Series, Description, Recommended Application.

Table with columns: Series, Description.

Catalog Number: GROCERY OUTLET AND SHOPS BUILDINGS

- OVERVIEW
The nLight Relay Panel family delivers cost-effective 0-10V dimming and switching for your building design needs.

- FEATURES
Communicates with an nLight network
Up to 128 digital devices per nLight control zone - each nLight Relay Panel utilizes 9 device addresses per 8 relays/dimming outputs.

Buy America
This product is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT.

Warranty
Five-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind.

ARP 1 of 5



Relay Panel



ARP INTENC08 NLT 8FCR MVOLT 1VB HLK SM DTC -- for the Grocery Outlet Bldg

TIMELOCK IS NOT REQUIRED, HOWEVER, IF TIMELOCK IS PREFERRED INSTEAD OF INCLUDED ASTRONOMICAL PROGRAMMING, PROVIDE (1) ARPA PC PER PANEL

Table with columns: NO., DESCRIPTION, APPD. ENGR., DATE, APPD. E.U., DATE.

Table with columns: SCALE, HORIZ. 1" = 30', VERT. 1" = N/A.

Table with columns: BENCH MARK, CITY B.M. 125, ELEV=126.60 (NAVD 88).

Table with columns: COMPUTED, DESIGNED, DRAWN, PROJ. ENGR.

Table with columns: COMPLETED, DESIGNED, DRAWN, PROJ. ENGR.

CES ENGINEERING, INC. logo and contact information.

GROCERY OUTLET
CEC REQUIRED LIGHTING CONTROLS
1751 PLEASANT GROVE BOULEVARD

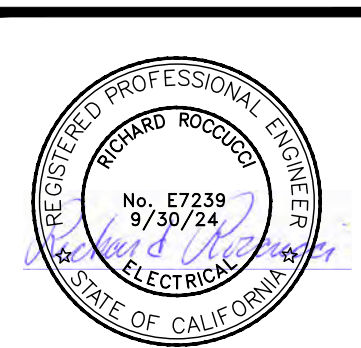


Table with columns: DATE, SHEET, OF.

STATE OF CALIFORNIA
Outdoor Lighting

CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE NRCC-LTO-E (Page 1 of 8)

Project Name: Grocery Outlet, West Roseville, CA Report Page: 2/16/2023
Project Address: 1751 Pleasant Grove Blvd., Date Prepared: 2/16/2023

A. GENERAL INFORMATION

01 Project Location (city) Roseville
02 Climate Zone 11
03 Outdoor Lighting Zone per Title 24 Part 1 §140.7 or as designated by Authority Having Jurisdiction (AHJ):
04 Total Illuminated Hardscape Area (ft²) 6652

☐ LZ-0: Very Low - Undeveloped Parkland ☐ LZ-2: Moderate - Rural Areas ☐ LZ-4: High - Must be reviewed by CA Energy Commission for Approval
☐ LZ-1: Low - Developed Parkland ☒ LZ-3: Moderately High - Urban Areas

B. PROJECT SCOPE

This table includes outdoor lighting systems that are within the scope of the permit application and are demonstrating compliance using the prescriptive path outlined in §140.7 or §141.0(b)(2) for alterations.

My Project Consists of:

☒ New Lighting System Must Comply with Allowances from §140.7
☐ Altered Lighting System Is your alteration increasing the connected lighting load (Watts)? Yes No

03 % of Existing Luminaires Being Altered¹ Sum Total of Luminaires Being Added or Altered Calculation Method
☐ < 10% ☐ >= 10% and < 50% ☐ >= 50%

Please proceed to Table F, Outdoor Lighting Fixture Schedule to define the project's luminaires.
¹ FOOTNOTES: % of Existing Luminaires Being Altered = (Sum Total of Luminaires Being Added or Altered / Existing Luminaires within the Scope of the Permit Application) x 100.

STATE OF CALIFORNIA
Outdoor Lighting

CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE NRCC-LTO-E (Page 2 of 8)

Project Name: Grocery Outlet, West Roseville, CA Report Page: 2/16/2023
Project Address: 1751 Pleasant Grove Blvd., Date Prepared: 2/16/2023

C. COMPLIANCE RESULTS

Results in this table are automatically calculated from data input and calculations in Tables F through I. Note: If any cell on this table says "COMPLIES with Exceptional Conditions" refer to Table D. Exceptional Conditions for guidance or see applicable Table referenced below.

Calculations of Total Allowed Lighting Power (Watts) §140.7 or §141.0(b)(2)					Compliance Results			
01	02	03	04	05	06	07	08	09
General Hardscape Allowance §140.7(d)(1) (See Table I)	Per Application Allowance §140.7(d)(2) (See Table J)	Sales Frontage Allowance §140.7(d)(3) (See Table K)	Ornamental Allowance §140.7(d)(2) (See Table L)	Per Specific Area Allowance §140.7(d)(2) (See Table M)	Existing Power Allowance §141.0(b)(2) (See Table N)	Total Allowed (Watts)	Total Actual (Watts)	07 must be >= 08
2,449.05	---	---	---	---	---	2,449.05	≥ 2,360.7	COMPLIES
Cutoff Compliance (See Table G for Details)					COMPLIES			
Controls Compliance (See Table H for Details)					COMPLIES			

D. EXCEPTIONAL CONDITIONS

This table is auto-filled with uneditable comments because of selections made or data entered in tables throughout the form.

E. ADDITIONAL REMARKS

This table includes remarks made by the permit applicant to the Authority Having Jurisdiction.

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F. OUTDOOR LIGHTING FIXTURE SCHEDULE

For new or altered lighting systems demonstrating compliance with §140.7 all new luminaires being installed and any existing luminaires remaining or being moved within the spaces covered by the permit application are included in the Table below. For altered lighting systems using the Existing Power method per §141.0(b)(2), only new luminaires being installed and replacement luminaires being installed as part of the project scope are included (ie, existing luminaires remaining or existing luminaires being moved are not included).

Designed Wattage:

01	02	03	04	05	06	07	08	09	10
Name or Item Tag	Complete Luminaire Description	Watts per luminaire ^{1,2}	How is Wattage determined	Total number luminaires ²	Luminaire Status ³	Excluded per §140.7(a)	Design Watts	Cutoff Req. > 5,200 initial lumen output §130.2(h) ⁴	Field Inspector
CY	LED 26.5	26.5	Mfr. Spec	3	New	☐	79.5	NA: < 6200 lumens	Pass Fail
P3 >2MH	LED 150 >2MH	150	Mfr. Spec	4	New	☐	600	Yes	Pass Fail
P3 1-2MH	LED 150 1-2MH	150	Mfr. Spec	5	New	☐	750	Yes	Pass Fail
P4 1-2MH	LED 189.5 1-2MH	189.5	Mfr. Spec	2	New	☐	379	Yes	Pass Fail
SHOP-C	LED 26.4	26.4	Mfr. Spec	8	New	☐	211.2	NA: < 6200 lumens	Pass Fail
SHOP-W	LED 32	32	Mfr. Spec	3	New	☐	96	NA: < 6200 lumens	Pass Fail
WP1	LED 35	35	Mfr. Spec	7	New	☐	245	NA: < 6200 lumens	Pass Fail
Total Design Watts:							2360.7		

¹ NOTES: Selections with a * require a note in the space below explaining how compliance is achieved.
² EX: Luminaire is lighting a statue; EXCEPTION 2 to §130.2(b)
³ FOOTNOTES: Authority Having Jurisdiction may ask for Luminaire cut sheets to confirm wattage used for compliance per §130.0(c)
⁴ For linear luminaires, wattage should be indicated as W/lf instead of Watts/luminaire. Total linear feet should be indicated in column 05 instead of number of luminaires.
⁵ Select "New" for new luminaires in a new outdoor lighting project, or for added luminaires in an alteration. Select "Altered" for replacement luminaires in an alteration. Select "Existing to Remain" for existing luminaires within the project scope that are not being altered and are remaining. Select "Existing Reinstated" for existing luminaires which are being removed and reinstalled as part of the project scope.
⁶ Compliance with mandatory cutoff requirements is required for luminaires with initial lumen output >= 6,200 unless exempted by §130.2(b)

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G. CUTOFF REQUIREMENTS (BUG)

This table includes fixtures of >= 6,200 initial lumens indicated on Table F as needing to comply with Cutoff Requirements. Maximum lumens can be found in Title 24, Part 11, Section 5.106.8.

Name or Item Tag	02	03	04	05	06	07	08	09	10	11	12	
	Complete Luminaire Description	Backlight Rating ²		Uplight Rating ²		Glare Rating (Lumens) ²			Field Inspector			
		Mounting Height ¹	Max Allowable Backlight Rating ²	Backlight Rating Per Design	Lighting type	Max Allowable Uplight Rating ²	Uplight Rating Per Design	Mounting Height ¹	Max Allowable Glare Rating ²	Glare Rating Per Design	Pass	Fail
P3 >2MH	LED 150 >2MH	2 MH from property line	No Limit	B3	Area Lighting	U0	U0	2 MH from property line	G3	G3	☐	☐
P3 1-2MH	LED 150 1-2MH	Back hemisphere is 1 - 2 MH from prop line	B4	B1	Area Lighting	U0	U0	2 MH from property line	G3	G3	☐	☐
P4 1-2MH	LED 189.5 1-2MH	Back hemisphere is 1 - 2 MH from prop line	B4	B1	Area Lighting	U0	U0	2 MH from property line	G3	G3	☐	☐
P3 1-2MH	LED 150 1-2MH	Back hemisphere is 1 - 2 MH from prop line	B4	B1	Area Lighting	U0	U0	2 MH from property line	G3	G3	☐	☐
P3 >2MH	LED 150 >2MH	2 MH from property line	No Limit	B3	Area Lighting	U0	U0	2 MH from property line	G3	G3	☐	☐

¹ FOOTNOTES: Mounting Height is labeled MH in this table.
² Authority Having Jurisdiction may ask for Luminaire cut sheets or other documentation to confirm luminaire type, uplight ratings and glare ratings used for compliance per §130.2(b)
³ BUG ratings with a lower number than the 'Max Allowable' are compliant. Ex. If Max Allowable is Bug Rating B4, then B0, B1, B2 and B3 are all compliant.

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H. OUTDOOR LIGHTING CONTROLS

This table demonstrates compliance with controls requirements for all new or altered luminaires installed as part of the permit application. For alteration projects, luminaires which are existing to remain (ie untouched) and luminaires which are removed and reinstalled (wiring only) do not need to be included in this table even if they are within the spaces covered by the permit application.
When an option having a * is selected, the notes section of this table must be completed. The lighting controls section of the Compliance Summary Table on the first page will show "DOES NOT COMPLY" if the notes are left blank.

Mandatory Controls

01	02	03	04	05
Area Description	Shut-Off §130.2(c)1	Auto-Schedule §130.2(c)2	Motion Sensor §130.2(c)3	Field Inspector
				Pass
				Fail

¹ NOTES: Controls with a * require a note in the space below explaining how compliance is achieved.
² EX: Not permitted by health & safety to be turned off; EXCEPTION 1 to §130.2(c)

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I. LIGHTING POWER ALLOWANCE (per §140.7)

This table includes areas using allowance calculations per §140.7. General Hardscape Allowance is per Table 140.7-A while "Use it or lose it" Allowances are per Table 140.7-B. Indicate which allowances are being used to expand sections for user input. Luminaires that qualify for one of the "Use it or lose it" allowances shall not qualify for another "Use it or lose it" allowance.

Calculated General Hardscape Lighting Power Allowance per Table 140.7-A (LZ 0, 1 & 4)

02	03	04	05	06	07	08	09	10
Area Description	Surface Type	Illuminated Area (ft ²)	Allowed Density (W/ft ²)	Area Allowance (Watts)	Perimeter Length (lf)	Allowed Density (W/lf)	Linear Allowance (Watts)	Total General AWA + LWA (Watts)
General Hardscape - Grocery Outlet	Asphalt	48009	0.025	1200.2	1058	0.2	264.5	1465
General Hardscape - Shop Bldg	Asphalt	18543	0.025	463.6	683	0.2	170.8	634
Initial Wattage Allowance for Entire Site (Watts):							350	
Total General Hardscape Allowance (Watts):							2449	

J. LIGHTING ALLOWANCE: PER APPLICATION
This section does not apply to this project.

K. LIGHTING ALLOWANCE: SALES FRONTAGE
This section does not apply to this project.

L. LIGHTING ALLOWANCE: ORNAMENTAL
This section does not apply to this project.

M. LIGHTING ALLOWANCE: PER SPECIFIC AREA
This section does not apply to this project.

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N. EXISTING CONDITIONS POWER ALLOWANCE (alterations only)

This section does not apply to this project.

O. DECLARATION OF REQUIRED CERTIFICATES OF INSTALLATION

Selections have been made based on information provided in this document. If any selection have been changed by permit applicant, an explanation should be included in Table E.
Additional Remarks. These documents must be provided to the building inspector during construction and can be found online at https://www.energy.ca.gov/title24/2019standards/2019_compliance_documents/Nonresidential_Documents/NRC/

Form/Title		Field Inspector
Pass	Fail	
☐	☐	

NRCC-LTO-01-E - Must be submitted for all buildings

P. DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE

There are no NRCA forms required for this project.

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DOCUMENTATION AUTHOR'S DECLARATION STATEMENT

I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name: Gary Conway, LC
Signature Date: Gary Conway

Company: CES Engineering, Inc.
Address: 13420 Mesa Drive
City/State/Zip: Grass Valley CA 95949

RESPONSIBLE PERSON'S DECLARATION STATEMENT

I certify the following under penalty of perjury, under the laws of the State of California:

- The information provided on this Certificate of Compliance is true and correct.
- I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer).
- The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
- The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.
- I will ensure that a completed signed copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable inspections. I understand that a completed signed copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at occupancy.

Responsible Designer Name: Richard Rocuccelli, PE
Signature Date: 2023-02-16
Company: CES Engineering, Inc.
Address: 13420 Mesa Drive
City/State/Zip: Grass Valley CA 95949

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DWG: X:\2020-0011-01 (GROCERY OUTLET) (025)-ROSEVILLE\DWG\1-C08-ST01.DWG | Sheet: 02-08-23 | 11:4am | RHOEING

REVISIONS

NO.	DESCRIPTION	APPD. ENGR.	DATE	APPD. EU.	DATE

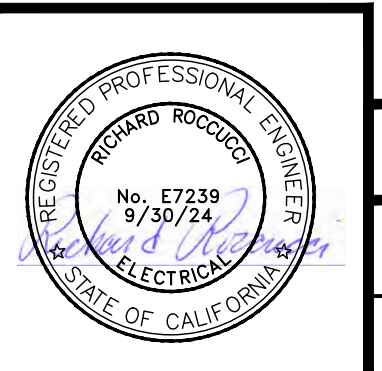
SCALE: -
HORIZ. 1" = 30'
VERT. 1" = N/A

COMPUTED	DESIGNED	DRAWN	PROJ. ENGR.
-	JDT	RC	JDT

BENCH MARK CITY B.M. 125
ELEV=126.60 (NAVD 88)
3 3/4" BRASS DISK STAMPED 2018 PLS 8278, LOCATED ON THE SOUTH SIDE OF PLEASANT GROVE BLVD. APPROX. 300 FEET EAST OF THE CENTERLINE OF FIDDYMENT ROAD AT THE TOP OF THE CURB WITHIN THE BUS TURNOUT IN FRONT OF THE BUS SHELTER PAD.

CES ENGINEERING, INC.
916.905.4477 www.conwayengineering.com
13420 Mesa Drive Grass Valley California 95949 USA

ON-SITE IMPROVEMENT PLANS FOR
GROCERY OUTLET
CEC LIGHTING ENERGY COMPLIANCE
1751 PLEASANT GROVE BOULEVARD
ROSEVILLE, CALIFORNIA



DATE: MAR 23, 2023
SHEET: E4
OF: 7

EN CWJ#

GROCERY OUTLET